

ANACORTES PLANNING COMMISSION



December 13, 2017

Municipal Building Council Chambers

6th Street and "Q" Avenue

AGENDA

6 P.M.

PACKET MATERIALS

1. **Roll Call**
2. **Minutes of November 29, 2017**
3. **Correspondence**
4. **New Business**
Public Hearing: Allen Family Investments Triplex Conditional Use Permit; 1211 & 1213 "H" Avenue, CUP-2017-0003



Planning Commission Meeting Minutes for – November 29, 2017

Chair Laumbattus called the meeting of November 29, 2017 to order at approximately 6 p.m.

Roll Call

Members Present: Commissioners Laumbattus, Mount, Cleland-McGrath, McNett, Oppel, & Doll

Members Absent: Commissioner Moffitt

Minutes

Minutes of October 11, 2017 approved as read.

Correspondence

The development regulations open house meeting video is now available on the city website.

New Business

Affordable Housing Demonstration Program Discussion

Libby Grage, Planning Manager, presented the draft code language for the proposed affordable housing demonstration program. The Anacortes Family Center requested flexibility from City Council to begin an affordable housing project, and Council requested staff provide draft code language. Ms. Grage stated staff are requesting comments from the public and Commissioners, and provided background on the proposal, including the approval of the Affordable Housing Strategic Plan. This is a temporary proposal prior to final adoption of the development regulations, which is expected in mid 2018 to replace the temporary code.

Commissioners requested clarification on criteria for affordability, how open space requirements would look, whether other cities have enacted similar affordability code, reasoning behind requiring non-profits or housing authorities as applicants, the applicable location, and maintenance requirements. Ms. Grage stated the Growth Management Act provides guidance on affordable housing code, that more flexibility will be provided with odd lots, that private parties may be allowed as applicants for the overall development regulation update, and that the demonstration program is proposed to be located in a portion of the R4A zone temporarily, but that the development regulations update may include different areas. Don Measamer, Planning Director, provided Mount Vernon and Bellingham as having similar housing affordability code, and that building maintenance is not generally a requirement of zoning code.

Patrick O'Hearn, 11039 Post Drive. Mr. O'Hearn supports enacting the temporary code as a trial period and suggested a smaller applicable area for the project. Mr. O'Hearn is also concerned with ensuring units stay affordable, and the involvement of the property owner. Mr. Measamer stated that staff will consider a narrower location for the demonstration.

Dustin Johnson, Executive Director at Anacortes Family Center. Mr. Johnson explained the Family Center's development plan and addressed concerns brought up by Commissioners.

Commissioners stated concern with feasibility for private builders, questioned vesting to the code in the demonstration project, questioned if requirements for projects would be recorded, and what the process for reviewing the code will be. Mr. Measamer reiterated that the development regulation update will provide incentives for private development. Ms. Grage stated that a complete building permit application would vest an applicant to the proposed code. Darcy Swetnam, City Attorney, clarified that all requirements would be recorded in title and will run with the land, to be binding with subsequent purchases. Mr. Measamer concluded that this is short term ordinance prior to the adoption of the development regulation code.

Chair Laumbattus called the meeting to a close at approximately 7:00 p.m.



Planning Commission Agenda Bill

Meeting Date: 12/13/2017 **Agenda Item:**

Subject: Tom Allen's Triplex, 1211 & 1213 "H" Avenue, CUP-2017-0003

Staff Contact: Kevin Cricchio, AICP, WPIT, Associate Planner

Approved for Submittal to Commission by	
X	Don Measamer, Director

Action Type	
X	Pre-decision open record public Hearing
X	Discussion
X	Possible Action

Summary & Background: The City of Anacortes' Planning, Community, & Economic Development Department received a Conditional Use Permit to permit the construction of one (1) additional detached dwelling unit on the east side of the subject property. A duplex was recently constructed on the west side of the property. Triplexes require an approved Conditional Use Permit in the underlying R3 Zoning District. The proposed development is generally located south of 12th Street on the east side of "H" Avenue. A pre-decision open-record public hearing before the Planning Commission is scheduled for 6:00 PM on December 13, 2017. Please bring your packets with you to the hearing.

Recommendation: The Department of Planning, Community, and Economic Development recommends that the Planning Commission make a motion to recommend approval to City Council regarding the subject Conditional Use Permit subject to staff's suggested conditions of approval.

Attachments:

Staff Report with Draft Planning Commission's Findings of Fact, Conclusions of Law, & Recommendation

Exhibit #01, Master Permit Application, Narrative, CUP Criteria of Approval, Drainage Analysis, Site Plan, Landscape Plan, Parking Plan, & Boundary Line Adjustment Map

Exhibit #02, GIS Map & Assessor's Info

Exhibit #03, Neighborhood Meeting Notice & Notice of Application & Hearing

Exhibit #04, Public Comments Received

Exhibit #05, Agency & Department Comments Received

Exhibit #06, Site Photos



**PLANNING COMMISSION'S DRAFT FINDINGS OF FACT,
CONCLUSIONS OF LAW, & RECOMMENDATION:**

PRE-DECISION OPEN-RECORD

PUBLIC HEARING DATE: Wednesday, December 13, 2017, @ 6:00 PM

CLOSED-RECORD DECISION

HEARING DATE: Monday, January 8, 2018, @ 6:00 PM

FILE NUMBER: CUP-2017-0003

PROJECT LOCATION: 1211 & 1213 "H" Avenue, Anacortes, WA

SUBJECT PARCEL: Parcel #: P58013

**APPLICANT &
LANDOWNER:**

Tom Allen
Allen Family Investments, LLC
P.O. Box 817
Anacortes, WA 98221

STAFF REPORT

PREPARED BY: Kevin Cricchio, AICP, WPIT
Associate Planner
City of Anacortes
904 6th Street
Anacortes, WA 98221

SUBJECT PROPOSAL:

The applicant has applied for a Conditional Use Permit to permit the construction of one (1) additional detached dwelling unit on the east side of the subject property. A duplex was recently constructed on the west side of the property. Triplexes require an approved Conditional Use Permit in the underlying R3 Zoning District. The proposed development is generally located south of 12th Street on the east side of "H" Avenue.

CURRENT ZONING: Residential Medium Density (R3) Zoning District

COMPREHENSIVE PLAN

DESIGNATION: Residential Medium Density

SURROUNDING ZONING & LAND USES:

Direction:	Zoning:	Present Land-Use:
North:	Residential Medium Density (R3)	Alleyway & single-family residences
South:	Residential Medium Density (R3)	13 th Street un-opened right-of-way
East:	Residential Medium Density (R3)	Single-family residences
West:	Residential Medium Density (R3)	Duplex

DRAFT FINDINGS OF FACT:

I. GENERAL BACKGROUND:

1. A building permit (BLD-2016-1653 & BLD-2016-1654) was issued on January 27, 2017, for the construction of the existing duplex located on the subject property. Duplexes are permitted outright in the R3 Zoning District provided they meet the minimum lot size of 7,500 square feet.
2. According to recorded survey (AFN #201612200069), the subject property is 10,500 square feet or 0.24 acres in area.
3. A pre-application conference was conducted at 1:30 PM on August 1, 2017, concerning the proposed construction of one additional dwelling unit on the subject property where a duplex currently is located.
4. At 6:00 PM on October 26, 2017, a neighborhood meeting was held at the Senior Center as required per AMC Table 19.20.030-1.
5. On September 25, 2017, the City of Anacortes' Department of Planning, Community, & Economic Development received a Conditional-Use Permit application to permit one additional dwelling unit (cumulatively considered a triplex) on the subject property.
6. The subject Conditional-Use Permit application was determined to be incomplete on October 17, 2017.
7. On October 20, 2017, the applicant submitted revisions as was requested by the incomplete letter.
8. Following a review of the revisions submitted, the subject application was deemed complete on November 1, 2017.

9. Per AMC Table 19.20.030-1, Conditional Use Permits are considered a Type 4 land use permit, which requires a 21-day comment period.
10. The comment period for the subject application began on November 1st and ended at 5:00 PM on November 22, 2017. Comments however were accepted until the close of the predication open record public hearing.

II. NEIGHBORHOOD MEETING NOTICE:

1. A neighborhood meeting notice was published in the Anacortes American Newspaper on October 11, 2017.
2. On October 4, 2017, the neighborhood meeting notice was posted in two (2) different locations on the subject property.
3. On October 4, 2017, the notice was also posted at city hall, the local USPS office, the library, and on the city's website.
4. On October 5, 2017, the neighborhood meeting notice was also mailed to neighboring landowners located within 300 feet of the subject property.

III. NOTICE OF APPLICATION (NOA) & NOTICE OF HEARING (NOH):

1. A notice of application & hearing was published in the Anacortes American Newspaper on November 1, 2017.
2. On October 30, 2017, the notice of application & hearing was posted in two (2) different locations on the subject property.
3. On October 30, 2017, the notice of application & hearing was also posted at city hall, the local USPS office, the library, and on the city's website.
4. On October 30, 2017, the notice of application and hearing was mailed to neighboring landowners located within 300-feet of the subject property.
5. Agencies and departments of jurisdiction were solicited for comment on October 27, 2017.

IV. CRITICAL AREA / ENVIRONMENTALLY SENSITIVE AREA REVIEW:

There are no known critical areas located either on the subject property or within 300 feet to it.

V. STATE ENVIRONMENTAL POLICY ACT:

The subject proposal is exempt from SEPA environmental review per WAC § 197.11.800 and AMC § 18.04.120.

VI. PUBLIC COMMENT:

Comment received can be found in **Exhibit # 04.**

VII. AGENCY & DEPARTMENT COMMENT:

Comments received from both agencies and departments of jurisdiction can be found in **Exhibit # 05.**

VIII. ZONING ORDINANCE/CODE:

1. Per AMC 17.34.010, the purpose of the Residential Medium Density (R3) Zoning District is to “accommodate a mix of single-family homes and duplexes, with multifamily residences up to four units by conditional use permit. These areas are to be conveniently located in relation to traffic routes, public utilities and community facilities of adequate capacity to serve present and projected demands.”
2. A duplex was constructed on the subject property in 2016. The applicant now wishes to construct an additional dwelling unit for a total of 3 dwelling units (cumulatively considered a triplex) located on the subject parcel.
3. Per AMC 17.34.050, units in a multifamily development of two or more units in the R3 Zoning District may be attached or detached, provided that the underlying property shall not be subdivided and sold separately unless the subdivided lots meet the setback, lot coverage, parking, and other requirements for the buildings thereon.
4. Triplexes in the R3 Zoning District require a minimum lot size of 10,000 square feet and an approved Conditional Use Permit per AMC 17.34.050 and 17.34.040 respectively. According to a recent boundary survey, the subject property is 10,500 square feet in area.
5. According to AMC 17.34.070, the maximum permitted density in the R3 Zoning District is nine (9) dwelling units per gross acre.
6. According to AMC 17.060.045, “gross acre” is defined as “acreage plus one-half the width of abutting rights-of-way of streets and alleys.”
7. The subject property is bound on three sides by city right-of-ways (“H” Avenue, 13th Street, and an alleyway). The calculation for one-half the abutting right-of-way streets and alleyway is as follows:

CITY ROW:	LENGTH OF LOT FRONTING ROW:	ROW WIDTH:	½ ROW	SQUARE FOOTAGE
“H” Avenue	50 feet	80 feet	40 feet	2,000
Alleyway	180 feet	16 feet	8 feet	1,440
13 th Street	30 feet	80 feet	40 feet	1,200
TOTAL SQ’:				4,640

8. The density calculation is as follows: 10,500 square foot lot size plus 4,640 square foot $\frac{1}{2}$ abutting ROWs equals 15,140 square feet. 43,560 square feet (the area within an acre) divided by nine (9) dwelling units permitted per gross acre equals 4,840 square feet per dwelling unit (DU). Four thousand eight hundred and forty (4,840) square feet multiplied by three (3) dwelling units proposed (a triplex) equals 14,520 square feet required. Cumulatively, the subject property plus one-half the abutting ROWs equals 15,140 square feet. The maximum permitted density for the R3 Zone has not been exceeded.
9. Per AMC § 19.36.040, in order to grant a Conditional Use Permit, the decision maker must find that the use would be consistent with the following criteria as follows:
 - A) The use would comply with any specific requirements for the conditional use specified elsewhere in this code.

STAFF ANALYSIS:

Triplices are permitted in the R3 Zoning District per AMC 17.34.040 via an approved Conditional Use Permit provided they meet minimum lot size and maximum permitted density per AMC 17.34.050 and 17.34.070 respectively. As stated above, the applicant has met these requirements.

- B) Access to this site is appropriate considering the anticipated volume of traffic resulting from the use.

STAFF ANALYSIS:

Access to the existing duplex located on the subject property is from the alleyway. The one additional dwelling unit, will also access the subject property using the alleyway, which currently is only partially paved. As conditioned below, the alleyway will be paved from "I" Avenue to "H" Avenue. This will provide adequate access for those residents that live at this development.

- C) Off-street parking and loading facilities are adequate in terms of location, amount, and design to service the use.

STAFF ANALYSIS:

An existing parking lot located on the subject property provides off-street parking for the duplex addressed as 1211 and 1213 "H" Avenue. This parking lot also provides off-street parking for the duplex located to the south of the subject property addressed as 1217 and 1219 "H" Avenue.

Two off-street parking spaces are required for each dwelling unit. Currently there are eight (8) paved off-street parking spaces for the two duplexes utilizing

the parking lot. The additional dwelling unit proposed would require two (2) additional off-street parking spaces. The applicant will meet this requirement by adding two (2) additional off-street parking spaces for a total of ten (10) off-street parking spaces located onsite.

D) The amount and location of open-space and the provision of screening is such that buffering of incompatible uses is achieved.

STAFF ANALYSIS:

The proposed additional dwelling unit will be required to meet the respective R3 Zoning District setbacks per AMC 17.34.060. Conformance with this requirement will be reviewed at time of building permit application submittal.

E) The location and intensity of outdoor lighting is such that it does not cast light on adjacent, adjoining, or neighboring properties.

STAFF ANALYSIS:

No outdoor lighting is proposed with the exception of to that of the front and rear porches. As conditioned below, outdoor lighting shall be down-shielded.

F) Hours and manner of operation of the propose use, including anticipated noise generation, are not inconsistent with the adjacent or nearby uses.

STAFF ANALYSIS:

The proposed additional dwelling unit will be surrounded by both single-family residences and two duplexes thus the proposed use will be consistent with adjacent land uses. No noise is anticipated except for a short period of time while the dwelling unit is being constructed.

G) Public facilities and utilities are capable of adequately serving the proposed use.

STAFF ANALYSIS:

All public utilities (i.e., potable water, sanitary sewer, and stormwater) are present at the subject property.

H) The physical conditions of the site, including size, shape, topography, and drainage, are suitable for the proposed development.

STAFF ANALYSIS:

The physical conditions of the subject property are conducive for the construction of an additional dwelling unit. The project site is flat in topography. As conditioned below, stormwater generated onsite from impervious surfaces will be required to comply with the Department of Ecology's 2012 Stormwater Management Manual as amended in 2014.

- l) Any other factors deemed relevant to the decision maker.

STAFF ANALYSIS:

No additional factors were determined to be relevant by the decision maker.

10. The subject proposal is, is not consistent with the above development regulations and the proposed land use is permitted in the underlying zoning districts.

IX. CONCLUSIONS OF LAW:

1. The public notice requirements of the Conditional-Use Permit have, have not been complied with.
2. The project is, is not consistent with the general purposes of the City's Comprehensive Plan, the city's planning standards and specifications of the zoning ordinance, and other ordinances applicable to the proposal.
3. The Planning Commission bases its Findings of Fact, Conclusions of Law & Recommendation on the entire record, including all testimony and exhibits. Any finding, which would be deemed a Conclusion of Law, and any Conclusion of Law, which should be deemed a finding is hereby adopted as such.

X. STAFF RECOMMENDATION:

The Department of Planning, Community, and Economic Development recommends that the Planning Commission make a recommendation of approval to City Council regarding the subject Conditional Use Permit subject to staff's suggested conditions of approval listed below.

XI. RECOMMENDATION:

Based on the foregoing information and analysis, the application material submitted by the applicant, and the City regulatory authority to implement the policies, standards, and the regulations of the Anacortes Municipal Code (AMC), the Planning Commission recommends approval, approval with conditions, or denial to City Council concerning the subject Conditional Use Permit subject to staff's suggested conditions of approval listed below.

XII. CONDITIONS OF APPROVAL:

1. The applicant shall be responsible for reimbursement to the City for the full cost of posting, mailing and publication of both the neighborhood meeting notice and

notice of application & hearing for this proposal. Payment shall be made prior to building permit application submittal or issuance.

2. The scope of this project shall not exceed that as set out in the conditional use permit application (including attachments), and in accordance with the determinations made and conditions imposed.
3. If any garbage dumpsters are proposed, the applicant is responsible for following the city's dumpster pad specifications. Dumpsters shall be screened by constructing an enclosure(s) around them surrounded by landscaping. Both wood enclosures and landscaping shall be in place prior to certificate of occupancy being issued.
4. A building permit shall be secured before any construction activities begin onsite.
5. Hours of construction /work are limited to 7:00 AM to 10:00 PM Sunday through Saturday.
6. A landscape plan shall be submitted to the City of Anacortes' Planning, Community, & Economic Development Department at time of building permit application submittal that complies with AMC Chapter 17.41 and 16.50 that regulates landscaping and tree preservation. All landscaping /trees shall be planted and in place prior to certificate of occupancy being issued.
7. A parking plan shall be submitted to the City of Anacortes' Planning, Community, & Economic Development Department at time of building permit application submittal that complies with AMC Chapter 17.46 regulating parking. Ten (10) off-street paved parking spaces are required for the two existing duplexes and one additional proposed dwelling unit utilizing the existing parking lot. All parking lot improvements must be constructed and in place prior to certificate of occupancy being issued.
8. Development shall comply with the Department of Ecology's 2012 Stormwater Management Manual for Western Washington as amended in 2014.
9. All exterior lighting shall be down-shielded thus preventing light trespass and impacts to the neighborhood.
10. Prior to certificate of occupancy being issued the applicant shall pave the entire alleyway abutting the subject property from "H" Avenue to "I" Avenue according to city standards.
11. Per AMC 17.34.050, in the underlying zoning district multifamily development(s) of two or more units may be attached or detached, provided that the underlying property shall not be subdivided and sold separately unless the subdivided lots meet the setback, lot coverage, parking, and other requirements for the buildings thereon. Accordingly, prior to building permit application issuance, the applicant shall record a covenant with the Skagit County Auditor's Office to this

effect on the subject property's title. A copy of the recorded covenant shall be provided to the City of Anacortes' Planning Department.

These Findings of Fact, Conclusions of Law, and Recommendation were adopted by the City of Anacortes' Planning Commission on **December 13, 2017**.

**CITY OF ANACORTES, WASHINGTON
PLANNING COMMISSION**

By _____
Marty Laumbattus, Planning Commission Chair

EXHIBITS:

EXHIBIT NUMBER:	NAME OF EXHIBIT:
Exhibit #01	Master Permit Application, Narrative, CUP Criteria of Approval, Drainage Analysis, Site Plan, Landscape Plan, Parking Plan, & Boundary Line Adjustment Map
Exhibit #02	GIS Map & Assessor's Info
Exhibit #03	Neighborhood Meeting Notice & Notice of Application & Hearing
Exhibit #04	Public Comments Received
Exhibit #05	Agency & Department Comments Received
Exhibit #06	Site Photos

EXHIBIT #01:

**MASTER PERMIT APPLICATION, NARRATIVE, CUP
CRITERIA OF APPROVAL, DRAINAGE ANALYSIS,
SITE PLAN, LANDSCAPE PLAN, PARKING PLAN, &
BOUNDARY LINE ADJUSTMENT MAP**

City of Anacortes – Planning, Community, and Economic Development

906 – 6th Street, P.O. Box 547, Anacortes, WA 98221-0547

MASTER PERMIT APPLICATION

1. Applicant Contact Person (if different)
Name: THOMAS L. ALLEN
Mailing Address: P.O. Box 817
City, State, Zip: ANACORTES, WA. 98221
Phone#: 360-293-7754
Fax#: 360-588-1029
E-mail: allencollectables@yahoo.com SAME
2. Applicant's Interest to Property (check one)
☒ Owner ☐ Contract Purchaser ☐ Lessee ☐ Other (specify) _____
3. All Persons/Firms having an ownership interest in the property:
Name: ALLEN FAMILY INV., LLC Phone# 360-293-7754
Address: P.O. Box 817, ANACORTES, WA. 98221
Name: _____ Phone# _____
Address: _____
Name: _____ Phone# _____
Address: _____
4. General location of property (including nearest intersection): SEC: 24 TWP: 35 RNG: 01
1/2 BLOCK SOUTH OF 12th ST AND H. AVE.
- *By submittal of this application, the property owner/applicant grants permission for public officials at the City of Anacortes to enter the subject property, if necessary, for the purpose of site inspection.
P# 58013
5. Attach legal description of property. (If recording of legal description is required, the format MUST comply with Recording Requirements.) LOTS 11-16, INCLUSIVE, BLOCK 4, MUNK'S FIRST QUEEN ADDITION TO ANACORTES. LOT A.
6. List all Property Tax Account Numbers involved in this application (Attach separate pages if necessary):
P# 58013
7. Approximate acreage: 241 AC.
10,500 #
8. Present zoning: R3
9. Present use of property: DUPLEX

10. Source of water supply and sewer supply: CITY OF ANACORTES

11. Permits requested from City:

☐ Annexation

☐ Boundary Line Adjustment

☐ Binding Site Plan

☒ Conditional Use Permit

☐ Comprehensive Plan Amendment

☐ Planned Unit Development

☐ Plat Modification

☐ Preliminary Plat

☐ Rezone

☐ Shoreline Exemption

☐ Shoreline Management Conditional Use Permit

☐ Shoreline Management Substantial Development

☐ Shoreline Variance

☐ Short Plat

☐ Special Use

☐ Variance

☐ Other: _____

12. Explain your request and ALL proposed uses included in this proposal:

CONDITIONAL USE PERMIT TO ALLOW A TRI-PLEX.

ONE ADDITIONAL DETACHED UNIT AT EAST END
OF PROPERTY.

PLEASE FILL IN ALL APPLICABLE SECTIONS

FOR REZONES:

13. Requested zoning: N/A

14. Comprehensive Plan designation: _____

15. Has anyone applied for a rezone of this property within the last five years? _____
If yes, who? _____ Year? _____

FOR SUBDIVISIONS (PLATS):

16. Plat Name: N/A 17. Number of Lots: _____

FOR SHORT SUBDIVISIONS (SHORT PLATS):

18. Number of Lots: N/A 19. Duplex Lots Proposed: _____

FOR SHORELINE MANAGEMENT SUBSTANTIAL DEVELOPMENT OR CONDITIONAL USE:

20. Total cost or fair market value (whichever is higher) of project (please state total value of all construction finishing work for which the permit will be issued, including all permanent equipment to be installed on the premises): \$ _____
21. Construction dates for which permit is requested (month & year): Begin: _____ / _____
End: _____ / _____
N/A
22. Does the project require a Shoreline/Floodplain location? If yes, please explain why: _____

23. Water Body: _____ 24. Shoreline Environment Designation: _____

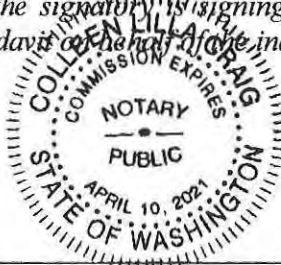
FOR VARIANCE (ZONING AND SHORELINE):

25. Code sections involved: _____
N/A
26. Description of variance requested: _____

A notarized affidavit is required to be completed by all persons having an ownership interest in the subject property and the applicant, if different from the property owner(s). If the signatory is not listed as the owner in the title report, or if the signatory is signing on behalf of an entity, documentation authorizing the signatory to sign the affidavit on behalf of the individual or entity shall be provided.

STATE OF WASHINGTON)

) ss



I (we) Thomas L Allen, being duly sworn, depose and say that I am (we are) the **OWNER(s)** of the property involved in this application, and that I (we) have familiarized myself (ourselves) with the rules and regulations with respect to preparing and filing this application and that the statements and information submitted herewith are in all respects true and correct to the best of my (out) knowledge and belief.

Signed: [Signature]

Property Owner

Subscribed and sworn to before me this 17 day of 7, 20 17

Colleen Lilla Craig
Notary Public in and for the State of Washington
residing at Anacortes, Wa

STATE OF WASHINGTON)

) ss



I (we) Thomas L Allen, being duly sworn, depose and say that I am (we are) the **APPLICANT(s)** for this application, and that I (we) have familiarized myself (ourselves) with the rules and regulations with respect to preparing and filing this application and that the statements and information submitted herewith are in all respects true and correct to the best of my (out) knowledge and belief.

Signed: [Signature]

Applicant

Subscribed and sworn to before me this 17 day of 7, 20 17

Colleen Lilla Craig
Notary Public in and for the State of Washington
residing at Anacortes, Wa



Allen Family Investments, LLC
P.O. Box 817
Anacortes, WA 98221
Phone: 360-293-7754

September 24, 2017

CONDITIONAL USE APPLICATION

1415 'H' Ave, Anacortes

PROJECT NARRATIVE PER AMC 19.36.040

The proposed project consists of a 2-story, wood frame, 2-bedroom, 1-1/2 bath structure to be located at the east end of the property where an existing duplex is located at 1211 & 1213 'H' Ave., Anacortes.

The zoning is R3 and allows Triplexes and 4-plexes by Conditional Use. The building lot is 10,500 sq. ft. and by calculating $\frac{1}{2}$ of abutting streets and alley there is 15,140 gross sq. footage with a maximum density of 9 units/acre. The minimum number of sq. footage required is 14,520 sq. ft. adding this unit is well within the required total.

Access to the site is off the existing alley, the east 150' which is to be paved before occupancy permit is issued. Required parking is 1.6 spaces for a 2-bedroom unit. 2 spaces are provided with a 3rd space that can be used in the paved parking area adjacent to and west of the proposed unit.

Proposed exterior lighting on the front and rear porches will not exceed the equivalent of 2 ea. 100-watt bulbs. There will be little light pollution on the neighbor to the east or across the alley to the north.

The proposed building unit use will be consistent with the current neighborhood as to noise generation after the initial building construction is complete.

Public facilities and utilities are capable of serving this building unit and there are no size, shape, topography, wetlands, critical areas or drainage issues.

Allen Family Investments, LLC
P.O. Box 817
Anacortes, WA 98221
Phone: 360-293-7754

City Pre-Application Letter – Date 08/01/2017

Item #6./Gross Acre Calc's:

1)		<u>Square Footage</u>
	Lot Size	10,500
	30' x 40' - ½ 13 th Street.....	1,200
	160' x 8' - ½ Alley	1,440
	50' x 40' - ½ 'H' Ave.....	<u>2,000</u>

Lot Size with ½ abutting streets & alleys: 15,140

2) 9 Lot Gross Acre Rule:

43,560 sq. ft./acre divided by 9 = 4,840 sq. ft. Unit

4,840 sq. ft. x 3 units = 14,520 sq. ft.

Maximum Density OK

EXISTING IMPERVIOUS
ROOF 1300#
SIDEWALK 215#
DUMPSTER 75#
PARKING 3,214#

PROPOSED NEW
IMPERVIOUS
ROOF 660#
PARKING 540#

BLDG LOT COVERAGE ON 10,500# LOT

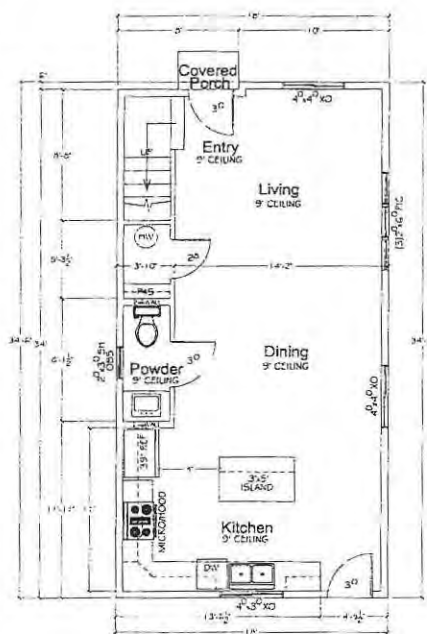
EXISTING DUPLEX 1,216#
EXISTING DECKS 192#
EXISTING STAIRS 80#

EXISTING TOTAL 1,488#

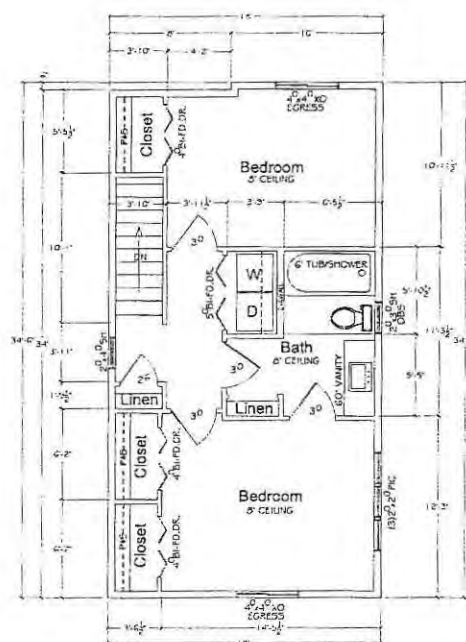
ADDITIONAL 3RD UNIT 617#

PROPOSED TOTAL 2,105#

$\frac{2105\#}{10500\#} = 20\% \text{ LOT COVERAGE}$



MAIN FLOOR PLAN
LIVING AREA SQ. FT.=617



UPPER FLOOR PLAN
LIVING AREA SQ. FT.=584

TOTAL LIVING AREA SQ. FT.=1201



NORTH ELEVATION

received
9/25/17

R3 ZONING
STICK FRAME
WOOD FRAME BUILDING
BUILDER TO VERIFY ALL DIMENSIONS
BUILDING & PLUMBING TO CONFORM TO
IRC 2015 BUILDING CODES
FOR FAMILY DWELLINGS

11" x 17" PAPER SIZE --- SCALE IS 1/8" = 1' (COPY @ 100%)
22" x 34" PAPER SIZE --- SCALE IS 1/4" = 1' (COPY @ 200%)

2
2 of 2

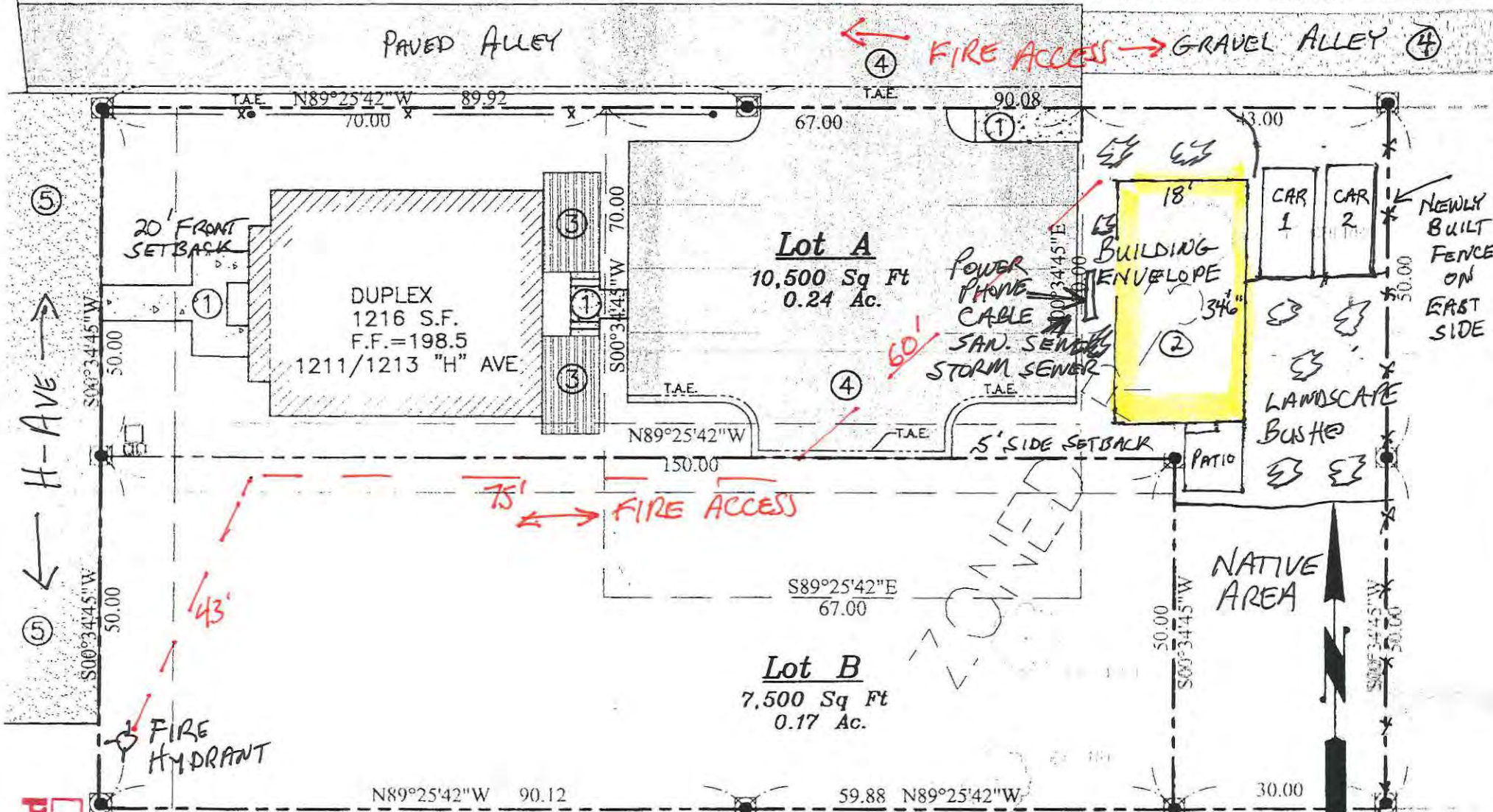
MAIN & UPPER FLOOR PLANS & NORTH ELEVATION
TOM ALLEN RESIDENCE
ADDRESS: 1215 "M" AVE
PARCEL: P 58013
XrefID: 3806-004-016-0004
DRAWN BY: BRUCE RUSTAD
DATE: 08/17/17

"NORTH

1415-H. AVE / LANDSCAPE + UTILITIES

PAVED ALLEY

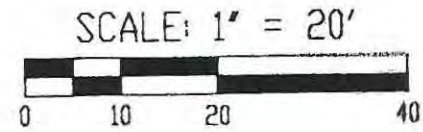
← FIRE ACCESS → GRAVEL ALLEY



received
9/25/17

- ① PROPOSED CONCRETE
- ② PROPOSED STRUCTURE
- ③ PROPOSED PATIO
- ④ PROPOSED ASPHALT

LANDSCAPE TO CITY CODE
R3 ZONE
DRG MEETING COMPLETED
MAXIMUM DENSITY OK (15,140 #)



← 13th ST →

← 13th CT →



THIS LANDSCAPE
PLAN ^{WAS} SUBMITTED
WITH APPLICATION.
I'M DOING BUSHES,
BARK + LEAVING
SOME IN NATIVE

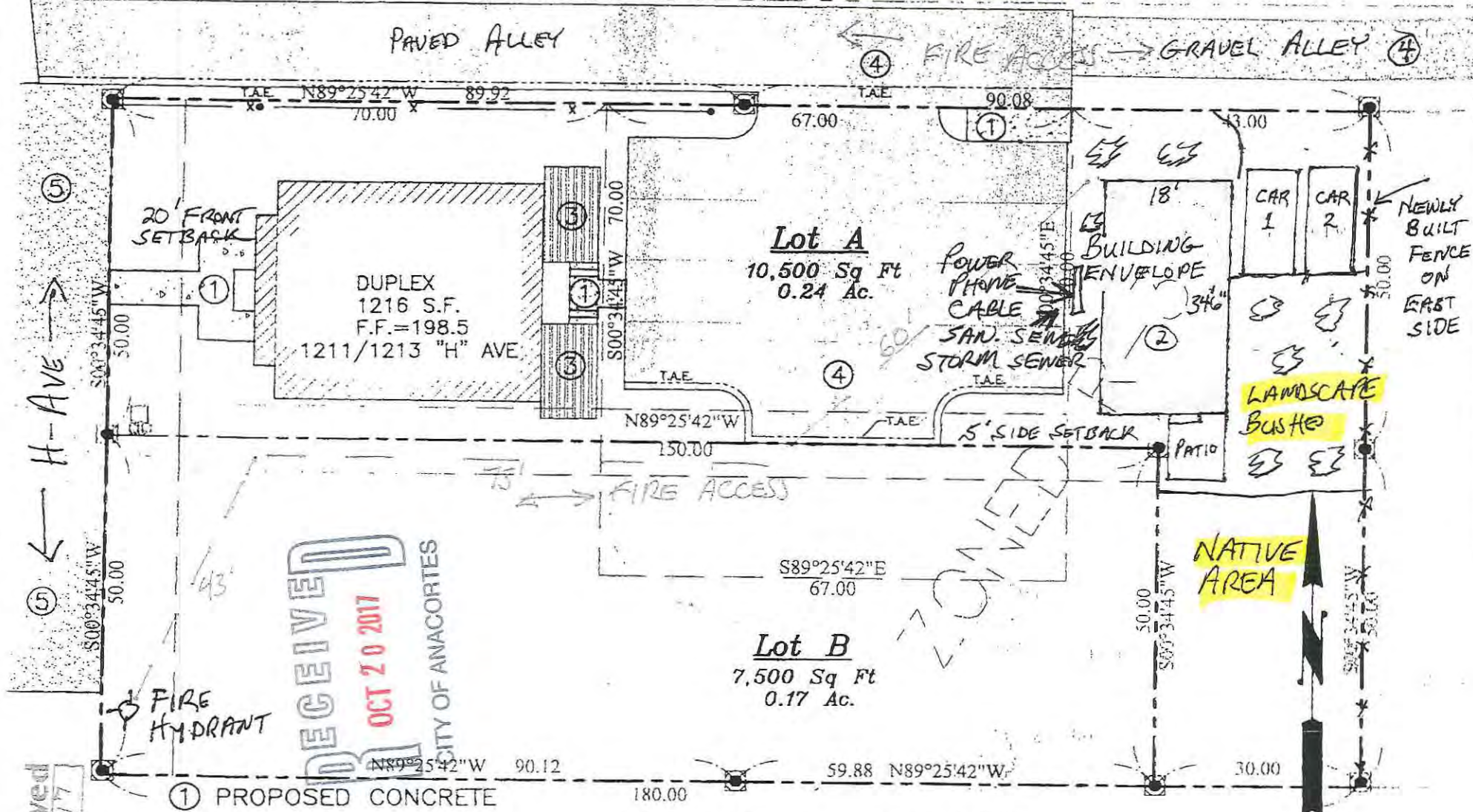
NORTH

1415-H. AVE

LANDSCAPE & UTILITIES

PAVED ALLEY

FIRE ACCESS → GRAVEL ALLEY



- ① PROPOSED CONCRETE
- ② PROPOSED STRUCTURE
- ③ PROPOSED PATIO
- ④ PROPOSED ASPHALT

LANDSCAPE TO CITY CODE

R3 ZONE

DRG MEETING COMPLETED

MAXIMUM DENSITY OK (15,140 #)

SCALE: 1" = 20'



← 13th ST →

received
9/25/17

RECEIVED
OCT 20 2017
CITY OF ANACORTES

y-yellow gas
e-red/orange electrical
& telephone
g-green sewer
b-blue water

Cased monument at
Avenue G and alley
Centerline this survey
bears S65°06'49"W 0.83
(see notes sheet 3 of 3)

Block 2, Davis' First
Addition

Survey per AFN 1995
06230061

Block 2
Plat of Barber's Addition

Auditor's File Number
201612050137
EASEMENT

Basis of Bearings
Survey per AFN 1994
02110127

Skagit County Auditor
12/20/2016 Page 1 of 3 3:47 PM

Auditor's Certificate

Skaagit County Auditor

alley centerline S89°25'42"E
380 Plat

Rebar & Cap, LS
29535 Corner Bears
N04°55'12"E 0.18

Lot A
0,500 Sq Ft
0.24 Ac.

Reciprocal
Easement in
Parking Lot
See Sht. 3 of 3

Left undisturbed
except for tree
management and
drywells

Survey per
AFN 20050506005
and surveys to the
east in Blocks 5, 7
and 10

See sheet 2 of 3

Proposed

Proposed
hydrant

H Avenue

Survey Notes

This survey has been prepared from a closed random traverse using an instrument measuring angles to 3 seconds of arc and distances rounded to hundredths of feet.

The purpose of this survey has been to locate and describe the existing corners and boundaries of the parcels described below.

A boundary determination that was later revised resulted in the departures noted between monuments set and corners now described. Monuments are set in concrete.

Utility line locations are based on surface paint marks..

Munk's Queen Anne Addition was found to be senior to Davis' First Addition and therefore held.

Property Description	Auditor's File Number (AFN)
-----------------------------	------------------------------------

201604280088 Tax Parcel 55013
Lots 11 through 16 inclusive, Block 4, Munk's First Queen
Anne Addition to Anacortes, according to the recorded Plat
thereof in the office of the Auditor of Skagit County,
Washington in Volume 3 of Plats, page 1.
Subject to covenants, conditions, restrictions and easements of
record.

13th Street
(currently unimproved)

Block 8

BLA-2016-1012

SHEET 1 OF 3

Surveyor's Certificate

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of Allen Family Investments, LLC, owners of property in Skagit County, Washington in July, 2016.

Certificate No. 29535

Record of Survey / Boundary Line Adjustment

FILE NAME: 1605-740			
SCALE: 1" = 30			
DATE OF PLAN: 11-26-16			
DRAWN BY: RFP			
F.B. No. 42, 43			
QUARTER	SECTION	TOWNSHIP	RANGE
NE/NW	24	35N	1E

PREPARED FOR:

**ALLEN FAMILY
INVESTMENTS, LLC**
Parrish Land Surveying
PO Box 314, Lopez, Washington 98261
(360) 582-1467 email parrish@rockisland.com

Graphic Scale

30 0 15 30 60

1 inch = 30 feet

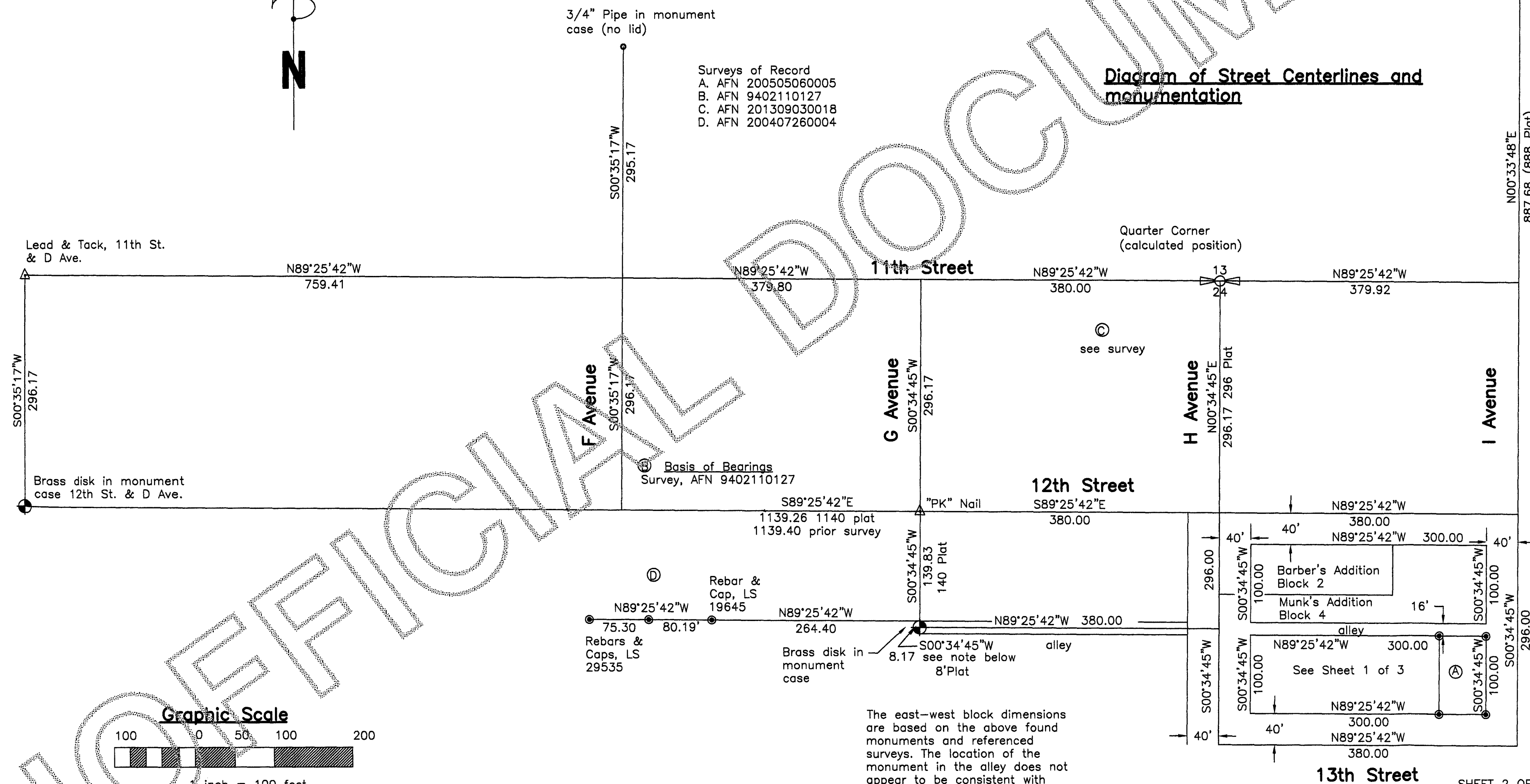


1" pipe in monument case
8th St. & I Ave.
See survey "A"
AFN 200505060005

3/4" Pipe in monument
case (no lid)

Surveys of Record
A. AFN 200505060005
B. AFN 9402110127
C. AFN 201309030018
D. AFN 200407260004

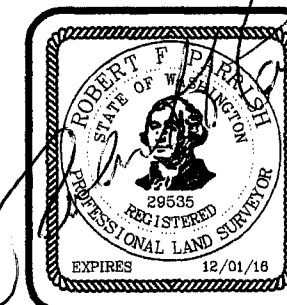
Diagram of Street Centerlines and monumentation



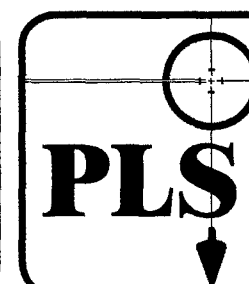
SHEET 2 OF 3

Record of Survey / Boundary Line Adjustment

BLA-2016-1012



FILE NAME: 1506-715
SCALE: 1" = 100'
DATE OF PLAN: 11-26-16
DRAWN BY: RFP
F.B. No. 42,43
QUARTER SECTION TOWNSHIP RANGE
NE/NW 24 35N 1E



PREPARED FOR:
ALLEN FAMILY INVESTMENTS, LLC
Parrish Land Surveying
PO Box 314, Lopez, Washington 98261
Anacortes 360-588-1467 email parrish@rockisland.com

Property Description Before Boundary Line Adjustment (BLA)

Tax Parcel 58013
Auditor's File Number 201604280088

Lots 11 through 16, inclusive, Block 4, "Munk's First Queen Anne Addition to Anacortes," according to the recorded plat thereof in the office of the Auditor of Skagit County, Washington in Volume 3 of Plats, page 1.

This conveyance is subject to covenants, conditions, restrictions and easements, if any, affecting title, which may appear in the public records, including those shown on any recorded plat or survey.

Lot A After BLA

A portion of Lots 11 through 16, inclusive, Block 4, "Munk's First Queen Anne Addition to Anacortes," according to the recorded Plat thereof in the office of the Auditor of Skagit County, Washington in Volume 3 of Plats, page 1 described as follows:

Beginning at the south margin of the alley in said Block 4 and the east margin of H Avenue at the northwest corner of said Lot 11 from which a rebar and cap labeled "Parrish, LS 29535" bears N04°55'12"E, 0.18 feet; thence S89°25'42"E, 89.92 feet to a rebar and cap labeled "Parrish, LS 29535," on the south margin of said alley; thence continuing S89°25'42"E, 90.08 feet along said margin to the northeast corner of said Lot 16 from which a rebar and cap labeled "Parrish, LS 29535" bears S09°13'07"E, 0.66 feet; thence S00°34'45"W, 50.00 feet to a rebar and cap labeled "Parrish, LS 29535" on the east line of said Lot 16; thence continuing S00°34'45"W, 50.00 feet to the southeast corner of said Lot 16 from which a rebar & cap labeled "Parrish, LS 29535," bears S07°26'14"W, 0.75 feet; thence N89°25'42"W, 30 feet along the north margin of unimproved Thirteenth Street to a rebar and cap labeled "Parrish, LS 29535;" thence N00°34'45"E, 50.00 feet to a rebar and cap labeled "Parrish, LS 29535;" thence N89°25'42"W, 150.00 feet to a rebar and cap labeled "Parrish, LS 29535" and the east margin of said H Avenue; thence N00°25'02"E, 50.00 feet along said east margin to the point of beginning.

Together with and subject to a non-exclusive reciprocal easement for ingress, egress, parking and utilities described as follows: Commencing at the east margin of H Avenue at the northwest corner of said Lot 11 and the south margin of said alley, from which a rebar and cap labeled "Parrish, LS 29535" bears N04°55'12"E, 0.18 feet; thence S89°25'42"E, 73.00 feet along said alley to the point of beginning; thence S00°34'45"W, 70.00 feet; thence S89°25'42"E, 62.00 feet; thence N00°34'45"E, 70.00 feet to the south margin of said alley; thence N89°25'42"W, 62.00 feet along said alley to the point of beginning.

Lot B After BLA

A portion of Lots 11 through 16, inclusive, Block 4, "Munk's First Queen Anne Addition to Anacortes," according to the recorded Plat thereof in the office of the Auditor of Skagit County, Washington in Volume 3 of Plats, page 1 described as follows:

Commencing at the south margin of the alley in said Block 4 and the east margin of H Avenue at the northwest corner of said Lot 11 from which a rebar and cap labeled "Parrish, LS 29535" bears N04°55'12"E, 0.18 feet; thence S00°34'45"W, 50.00 feet along said east margin to a rebar and cap labeled "Parrish, LS 29535" and the true point of beginning; thence S89°25'42"E, 150.00 feet to a rebar and cap labeled "Parrish, LS 29535;" thence S00°34'45"W, 50.00 feet to a rebar and cap labeled "Parrish, LS 29535" and the north margin of unimproved Thirteenth Street; thence N89°25'42"W along said north margin, 59.88 feet to a rebar and cap labeled "Parrish, LS 29535;" thence continuing N89°25'42"W, 96.12 feet to the east margin of said H Avenue from which, a rebar and cap labeled "Parrish, LS 29535" bears S26°07'52"W, 0.63 feet; thence N00°34'45"E, 50.00 feet along said margin to the point of beginning.

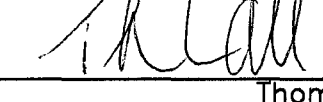
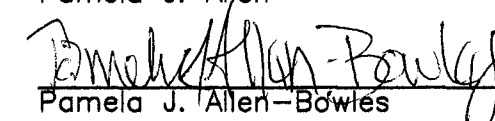
Together with and subject to a non-exclusive reciprocal easement for ingress, egress, parking and utilities described as follows: Commencing at the east margin of H Avenue at the northwest corner of said Lot 11 and the south margin of said alley, from which a rebar and cap labeled "Parrish, LS 29535" bears N04°55'12"E, 0.18 feet; thence S89°25'42"E, 73.00 feet along said alley to the point of beginning; thence S00°34'45"W, 70.00 feet; thence S89°25'42"E, 62.00 feet; thence N00°34'45"E, 70.00 feet to the south margin of said alley; thence N89°25'42"W, 62.00 feet along said alley to the point of beginning.

EASEMENT RECORDED UNDER AUDITOR'S FILE NUMBER _____

201612200069
Skagit County Auditor
12/20/2016 Page 3 of 3 3:47PM
\$167.00

Declaration and Consent

Know all persons by these presents that we the undersigned owners hereby certify that this boundary line adjustment is made as our free and voluntary act and deed.


Pamela J. Allen

Thomas L. Allen

Pamela J. Allen-Bowles

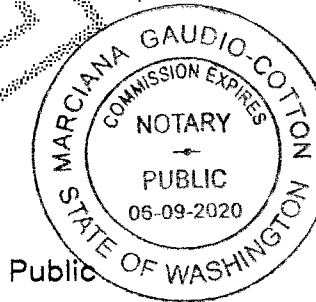
Brian K. Allen

Acknowledgement

I certify or have satisfactory evidence that Thomas L. Allen, Pamela J. Allen signed this instrument and on oath stated that they are authorized to execute the instrument and acknowledged it as their free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: December 19, 2016


M. Gaudin-Cotton
Notary Public



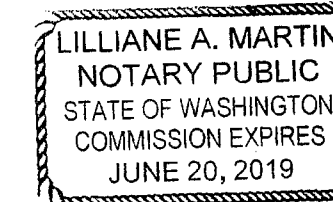
My Appointment Expires: 06-09-2020

Acknowledgement

I certify or have satisfactory evidence that Brian K. Allen and Pamela J. Allen-Bowles signed this instrument and on oath stated that they are authorized to execute the instrument and acknowledged it as their free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: 12-16-16

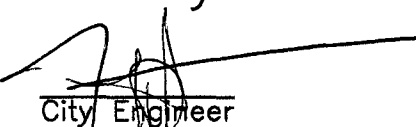

Lillian A. Martin
Notary Public



My Appointment Expires: 6/20/19

Acceptance

This Boundary Line Adjustment is hereby examined and approved for acceptance this 19th day of January, 2016.

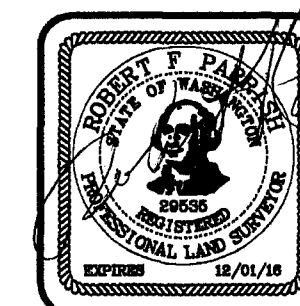

City Engineer

SHEET 3 OF 3

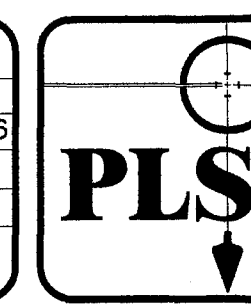

Subdivision Administrator

Record of Survey / Boundary Line Adjustment

BLA-2016-1012



FILE NAME: 1506-740			
SCALE: N/A			
DATE OF PLAN: 11-26-16			
DRAWN BY: RFP			
F.B. No. 42,43			
QUARTER	SECTION	TOWNSHIP	RANGE
NE/NW	24	35N	1E



PREPARED FOR:		ALLEN FAMILY INVESTMENTS, LLC	
		Parrish Land Surveying	
		PO Box 314, Lopez, Washington 98261	
		Anacortes 360-588-1467 email parrish@rockisland.com	

1211 + 1213 H. AVE.



19.36.040 CUP Criteria:

A. In order to grant a conditional use permit, the decision maker must find that the use would be consistent with the following criteria:

1. The use would comply with any specific requirements for the conditional use specified elsewhere in this code; *Zoning R-3*

AMC 17.34.050 Minimum lot size Tri-Plex 10,000 sq. ft. all conditions of AMC 17.34 met.

2. Access to the site is appropriate considering the anticipated volume of traffic resulting from the use; *Alley access or with approximately 1 car added to alley every 3-1/2 - 4 hours*

3. Off-street parking and loading facilities are adequate in terms of location, amount, and design to service the use; *Off street parking with 2 units provided plus the access to existing 1211 - 1213 parking area.*

4. The amount and location of open space and the provision of screening is such that buffering of incompatible uses is achieved; *Building will have 20' setback on eastside With privacy fence to nearest neighbor.*

5. The location and intensity of outdoor lighting is such that it does not cast light on adjacent, adjoining, or neighboring properties; *Front porch and rear porch lights only as required by code*

6. Hours and manner of operation of the proposed use, including anticipated noise generation, are not inconsistent with the adjacent or nearby uses; *Apartment use will be consistent with the current single and multi-family neighborhood.*

7. Public facilities and utilities are capable of adequately serving the proposed use; *All utilities are run to the building site.*

8. The physical conditions of the site, including size, shape, topography, and drainage, are suitable for the proposed development; *All physical conditions okay for proposed apartment unit.*

9. Any other factors deemed relevant to the decision-maker. (Ord. 2992 § 1 (Att. A), 2016)

Ravnik & Associates, Inc.

CIVIL ENGINEERING & LAND-USE PLANNING

DRAINAGE REPORT
for
New Duplex Building
1211 "H" Avenue, Anacortes, WA
for
Tom Allen
Ravnik & Associates #16019
November 2, 2017



NARRATIVE

The project area is located within the City of Anacortes (WA) and exists today as a single parcel (P58013) of land containing approximately 10,500 square feet and the adjoining 16-foot wide alley right of way. The subject property is located along the east side of H Avenue, approximately 121 feet southerly of 12th Avenue. The alley portion of the project extends from the subject property easterly to "I" Avenue. The project addressed herein proposes construction of a new 621 square foot residential building and approximately 1,950 square feet of new asphalt surfacing of the existing gravel ally located along the north side of the subject property. The subject property currently contains an existing 1,216 square foot duplex building and approximately 3,073 square feet of existing concrete and asphalt improvements associated with the building. This Drainage Report has been prepared to address the stormwater provisions necessary for development of additional residential building including a gravel parking area and asphalt surfacing over the existing gravel alley to the north of the subject property based on the 2012 Department of Ecology Stormwater Manual for Western Washington (DOE Manual) as required by the City of Anacortes.

EXISTING CONDITIONS

The project basin area is comprised of a single parcel of land and an adjoining alley right of way along the north side of the project. The subject property contains a total of approximately 10,500 square feet (0.24-acres), with the alley right of way encompassing approximately 4,828 (0.11-acres) square feet for a total project basin area of 0.35 acres. To the south of the subject property there is an 80-foot wide unopened right of way area, to the east is residential development, to the west is developed "H" Avenue, and the existing ally is located north with residential development along its north side. The subject property is generally flat with gentle slopes downhill from north to south. There is an existing duplex building located within the westerly portion of the subject property, along various areas of existing concrete and asphalt for walkways and parking to serve the existing building. The existing alley is paved within its westerly half and is surfaced with compact gravel within the remaining easterly portion. The existing compacted gravel alley which appears to sheet low onto adjoining properties as there is no existing storm system serving this area and there is no evidence of concentrated flows or ponding water. Refer to the following for the total existing impervious surface area:

Existing Impervious Surface

Ex Duplex Building	1,216 sf
Ex Concrete (onsite)	373 sf
Ex Asphalt (onsite)	2,700 sf
<u>Ex Asphalt (offsite-alley)</u>	<u>2,036 sf</u>
Total Ex Impervious Surface	6,325 sf (0.15 acres)

Therefore, the project basin area currently contains approximately 42.9% impervious surfaces and 57.1% pervious areas.

Per information from the Soils Conservation Service Soil Survey of Skagit County, the onsite soils are comprised of #31 "Clallam" soils, identified as being in Hydrologic Group "C". Per the SCS Manual, "Clallam" soils are described as typically having a surface covered with a mat of needles, leaves, and swigs about 1-inch thick, with the surface layer below the mat being a dark brown gravelly loam over a dense glacial till. Permeability of this soil is moderate above the dense glacial till and very low through the lower till soils. Per Table 14 of the SCS Manual, Clallam soils have permeability of 0.60-2.0 inches per hour to depths of 27 inches, however the infiltration rate is reduced to less than 0.06 inches per hour a depths below 27 inches.

DEVELOPED CONDITIONS

This project proposes the construction of the new 621 square foot building (847 sf roof area), 554 square feet of gravel surfacing for two parking stalls, and the extension of the asphalt surfacing in the alley easterly, adding approximately 2,538 square feet of new asphalt surfacing in the alley where compact gravel currently exists. The new onsite impervious improvements proposed herein are to occur within the easterly side of the previously developed lot and easterly end of the previously developed alley as summarized below:

New Impervious surfaces

New duplex building (roof area)	847 sf
New gravel surfacing (parking)	554 sf
<u>New asphalt alley surfacing</u>	<u>2,538 sf (currently compacted impervious gravel)</u>
Total New Impervious Surface	3,939 sf

The proposed project development is proposed to conform to the requirements established by the Department of Ecology's 2012 Stormwater Manual as required by the City of Anacortes. Following the 2012 DOE Figure 2.4.1-*Flow Chart for Determining Requirements for New Development* the first question asks if the site has more than 35% or more of existing impervious coverage. For this project it does (it currently contains approximately 42.9% impervious coverage), therefore this flow chart notes that this project should refer to Figure 2.4.2 "*Flow Chart for Determining Requirements for*

Redevelopment". DOE Figure 2.4.2 for redevelopment was used to determine the necessary stormwater provisions which must be incorporated for this specific project. Both of the referenced 2012 DOE flow charts are attached at the end of this report.

The Flow Chart for Determining Requirements for Redevelopment (DOE Figure 2.4.2) starts by asking: "Does the project result in 2,000 square feet, or more, of new plus replaced hard surface area?" The answer for this project is "Yes," therefore DOE Minimum Requirements #1-#5 are applicable to the new and replaced hard surface area. Next question is "Does the project add 5,000 square feet or more of **new** hard surface." The answer is "No," and additionally this is not a road related project. Last question: "Is the total of new plus replaced hard surfaces 5,000 square feet or more AND does the value of the proposed improvements - including interior improvements-exceed 50% of the assessed value (or replacement value) of the existing site improvements?" This project **does not** propose more than 5,000 square feet of new plus replaced hard surface, and the proposed improvements **do not** exceed 50% of the replacement value of the existing site improvements, therefore, "No additional requirements are required." In summary, per the 2012 DOE Manual's Redevelopment Flow Chart, this project is **required to meet Minimum Requirements #1 - #5 for all new and replaced hard surface areas**. It should be noted that even if using Figure 2.4.1 for New Development also results in the project being required to meet minimum requirements #1-#5. Refer to both of the attached DOE flow charts for reference.

DOE MINIMUM REQUIREMENTS #1-#5

Based on the requirements established using the DOE flow charts as noted, the following is the list of DOE's Minimum Requirements #1-#5 and how the standard is proposed to be met for this project.

Minimum Requirement #1-Preparation of Stormwater Site Plan

Stormwater design for the site will be included within the plans submitted to the City of Anacortes with Building Permit submittal.

Minimum Requirement #2-Construction Stormwater Pollution Prevention (SWPPP)

A plan will be prepared to assure that no erosion will occur and that the existing stormwater facilities onsite area properly managed, protected, and maintained during construction. The plan shall be prepared by the contractor and will address each of the 13 elements noted within the 2012 DOE Manual as applicable/necessary.

Minimum Requirement #3-Source Control Pollution

Source control BMP's will be chosen and noted within the projects plans to support each element as needed per minimum requirement #2 to prevent stormwater from coming into contact with pollutants during construction.

Minimum Requirement #4-Preservation of Natural Drainage Systems and Outfalls

This project proposes to collect and route the new building's roof runoff waters to a dispersion system or perforated stub-out connection as required to meet the Onsite Stormwater Management (LID) requirement as further discussed in minimum requirement #5. The addition runoff from the new asphalt surfacing within the easterly half of the alley will continue to sheet flow onto the adjoining lots as occurs today, however a small section of thickened asphalt edge will be installed where the alley right of way directly adjoins an existing house. The thickened asphalt edge will route waters easterly and be allowed to flow southerly within the west side of the "T" Street right of way towards the 80-foot wide unopened, forested, 13th Street right of way to the south. Refer to the Developed Conditions Drainage Exhibit attached.

Minimum Requirement #5: On-site Stormwater Management

This project must employ on-site stormwater management BMPs. Based on enclosed Figure 2.5.1 in Volume 1 of the DOE manual "*Flow Chart of Determining LID MR #5 Requirements*," since the project is only required to conform to minimum requirements #1-#5 this project has the choice of choosing On-site Stormwater Management BMP's from List #1 or demonstrating conformance to the Low Impact Development Performance Standard as noted within 2012 DOE Manual Volume 1-Section 2.5.5. This project proposes to use List #1 to be in compliance with Requirement #5 *On-site Stormwater Management*, the LID performance standard.

Using List #1, BMP's for new "Roof" and "Other Hard Surfaces" have been considered in the order they are presented in the following list as summarized, with the first BMP deemed feasible being chosen for use by the project as required.

Roofs:

Per the Low Impact Development Performance Standard - List #1 the following BMPs are applicable for roofs in the order that DOE requires they be considered for feasibility:

1. **Full Dispersion or Full Infiltration**-*Not feasible as the site is already developed and maintaining 65% of the native condition is not feasible.*
2. **RainGardens or Bioretention**- *The onsite soil structure contains a restrictive layer at approximately 27-inches below existing grade that has a hydraulic conductivity of less than 0.06 inches per hour, therefore Raingardens or Bio retention is not feasible per 2012 BMP T7.30. BMP T7.30 Infeasibility Criteria states if the native soils infiltration rate is less than 0.30 inches per hour they should not be used to meet the requirements of MR #5.*
3. **Downspout Dispersion**- *Downspouts from the proposed 847 square foot building roof area will be tight-lined to a Dispersion Trench (DOE detail 3.1.5 and 3.1.6). This dispersion trench will be situated so that there is at least 25 feet of vegetated flow path down gradient to the nearest property line. For Downspout Dispersion DOE requires a 10 foot long x 2-foot wide drainrock filled trench containing a 4-*

inch diameter perforated pipe for each 700 sf of building. Based on this the proposed 847 sf building roof area will require 12.1 lineal feet of dispersion trench be installed to disperse roof runoff. Refer to the detail provided with this report. If it is deemed that a dispersion trench along the southerly side of the site would be impactful to adjoining properties, a perforated stub-out connection can also be used in lieu of a dispersion trench.

4. Perforated Stub-out Connection

Though not anticipated, if the previously noted dispersion trench is anticipated to negatively impact adjoining properties, a perforated stub-out connection is required in place of the dispersion trench. If used, the new building downspouts will be tight-lined to a perforated stub-out connection to be located within the onsite southerly portion of open lawn area. Per DOE Volume III, Section 3.1.3 Perforated Stub-out Connections (BMP T5.10C) Design Criteria at least 10-feet of perforated pipe per 5,000 sf of roof area laid in a level, 2-foot wide trench backfilled with washed drain rock is required. To provide the perforated stub-out for the proposed 847 sf building roof area, 10 lineal feet of trench would be required, with a piped connection to the existing 6-inch diameter storm stub located southerly of the proposed building which will provide an overflow into the adjoining underground storm system to the west. Refer to the DOE Detail attached with this report.

Other Hard Surfaces:

Small areas of concrete sidewalks and/or patios are proposed and will be cross-sloped to direct runoff to flow downhill towards lawn/landscape area where there is sufficient area for runoff to disperse and infiltrate into the underlying soils. The proposed 13-foot wide asphalt surfacing to be placed on the existing compacted gravel alley with this project will generally be designed to promote sheet flow, as currently occurs today, as noted in the following. However within the east most portion of the new alley to be paved, approximately 85 lineal feet of thickened asphalt edge will be placed along the south side of the new pavement to protect an existing house located very near the south side of the alley right of way. The thickened asphalt edge will convey runoff easterly where it will be released southerly within the west side of the "I" Street right of way. Refer to the Existing and Developed Conditions Exhibits attached.

1. **Full Dispersion or Full Infiltration in accordance with BMP T5.30-***Not feasible as the site is already developed and maintaining 65% of the native condition is not feasible.*
2. **Permeable pavement or RainGardens or Bioretention-** *Per the footnote on this item in the 2012 DOE Manual this is not a requirement to pave surfaces, and therefore is not applicable to the proposed gravel parking surfacing. Regarding the asphaltting of the adjoining unimproved portions of the alley, the use of Permeable pavement or Raingardens or Bio retention is infeasible due to the fact that the onsite soils have a restrictive layer at approximately 27-inches below*

existing grade which has a hydraulic conductivity of less than 0.06 inches per hour. Per the 2012 DOE Manual BMP T7.30. BMP T7.30 use of Permeable Pavement or Raingardens or Bio retention is infeasible if the native soils infiltration rate is less than 0.30 inches per hour should not be used to meet the requirements of MR #5.

3. **Sheet Flow Dispersion (BMP T5.12) or Concentrated Flow Dispersion (BMP T5.11)**-This project will disperse runoff waters via sheet flow for all proposed onsite concrete and gravel surfaces by cross-sloping them to promote runoff waters to sheet flow onto adjoining vegetated landscape areas as required by DOE standards. Generally a 10-foot wide vegetated area is sufficient to disperse up to a 20-foot wide impervious surface width per BMP T5.12. For the new 13-feet of asphalt surfacing within the 16-foot wide alley right of way area there is only 1.5-2-feet of area remaining between the edge of the asphalt and adjoining right of way line. Without at least 10-feet of vegetated buffer for dispersion and/or the 50-feet to the property line for Concentrated Flow Dispersion, Sheet Flow Dispersion is not feasible for the proposed asphalt. Runoff generated from the generally new asphalt areas will continue to sheet flow, as it currently does, from the compacted gravel surfacing, and infiltrate along the north and south sides of the alley. Within the easterly section (approximately 85 linear feet) of the alley, will include a thickened asphalt edge along the south side to protect an existing house located very near the south right of way line. This thickened asphalt edge will collect and convey runoff from the new asphalt surface and route it easterly where it can be discharged south, within the west side of the "I" Avenue right of way, ultimately reaching the unopened 13th Street right of way to the south as there is not a defined storm system within the area.

SUMMARY

In summary, redevelopment of this property to add 847 square feet of new building roof area, gravel surfacing for parking stalls, a small amount of concrete surfacing for walkways and patios, and 2,538 square feet of new paving of the existing gravel alley as noted will not have a significant impact on the project area. Per the DOE flow charts noted previously and attached herein, this project is required to meet DOE's minimum requirements #1-#5, most notably Minimum Requirement #5 - On-site Stormwater Management. This project will use Onsite Stormwater BMP's such as 12.1 linear feet of dispersion trench for downspout dispersion (or 10 linear feet of perforated stub out connection) for roof runoff and will grade new concrete and gravel areas with a cross slope to promote runoff to disperse sheet flow onto vegetated surfaces as noted on List #1 in Volume I of the 2012 DOE Manual to meet this requirement as specified in the previous sections of this report. Since the alley right of way is only 16-feet wide, sheet flow dispersion and concentrated flow dispersion for all areas cannot be achieved, therefore the alley runoff will be allowed to flow to areas as currently occurs except within the east most 85 linear feet of the alley where a thickened asphalt edge will be provided along the south side of the alley to protect an existing house has been constructed very close to the south right of way line. This thickened asphalt edge will collect and convey runoff easterly, to the west side of the "I" Avenue right of way, where it is

discharged southerly, ultimately reaching the vegetated unopened 13th Street right of way south of the project. Refer to the attached Developed Conditions Drainage Exhibit.



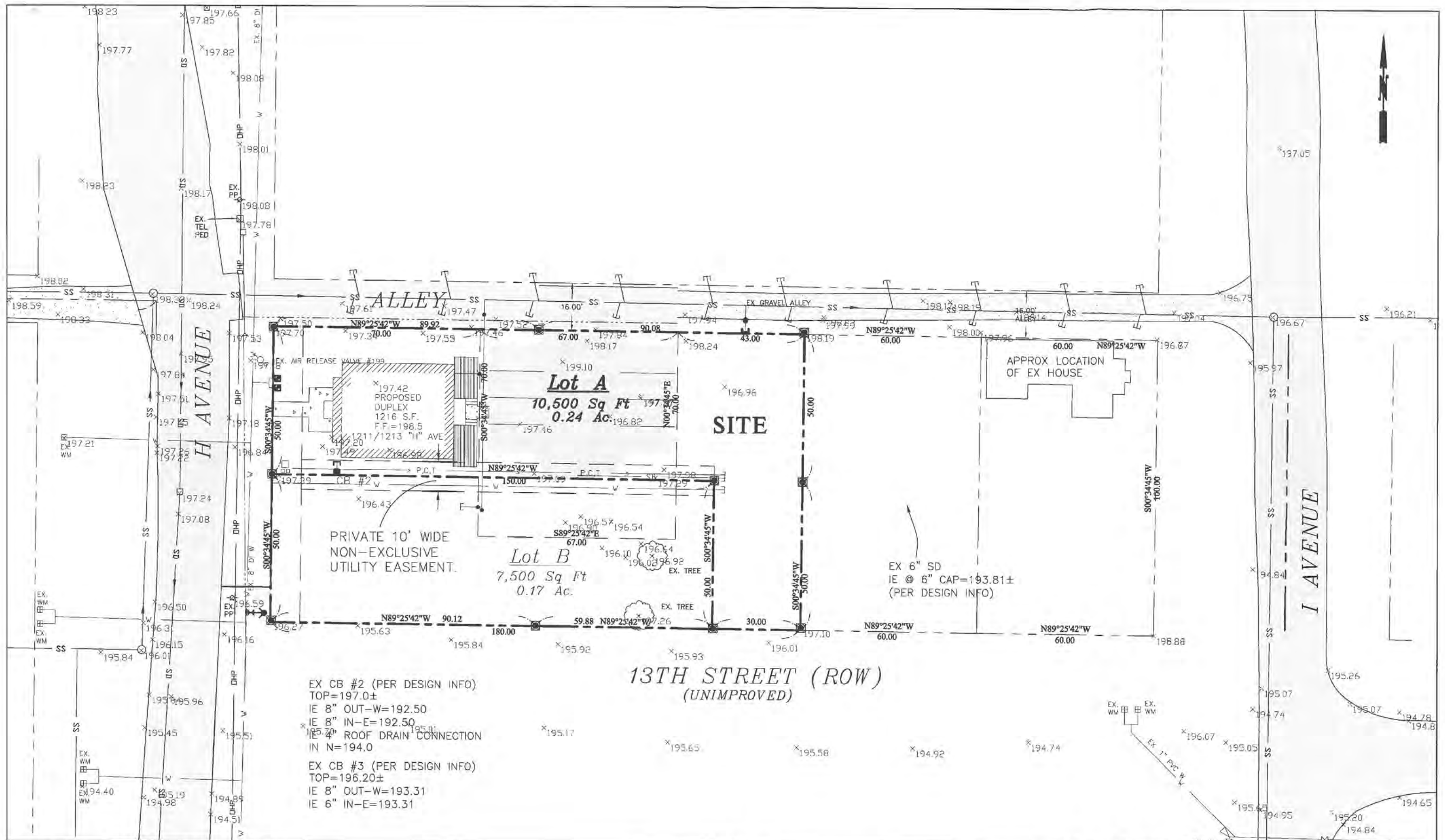
SITE

Ravnik & Associates, Inc.
 CIVIL ENGINEERING & LAND-USE PLANNING
 1633 LINDAMOOD LANE/PO. BOX 361
 BURLINGTON, WA 98233
 PH: (360) 707-2048 FAX: (360) 707-2216

SHEET DESCRIPTION:

**VICINITY
 MAP**

SCALE: 1"=300'
 DRAWN BY: D. REMSEN
 JOB NO. 18019
 DATE: 10.25.17



Ravnik & Associates, Inc.
CIVIL ENGINEERING & LAND-USE PLANNING
1633 LINDAMOOD LANE/PO. BOX 361
BURLINGTON, WA 98233
PH: (360) 707-2048 FAX: (360) 707-2216

SCALE: 1"=30'
DRAWN BY: OUR
CHECKED BY: HLN
DATE: 10.31.17

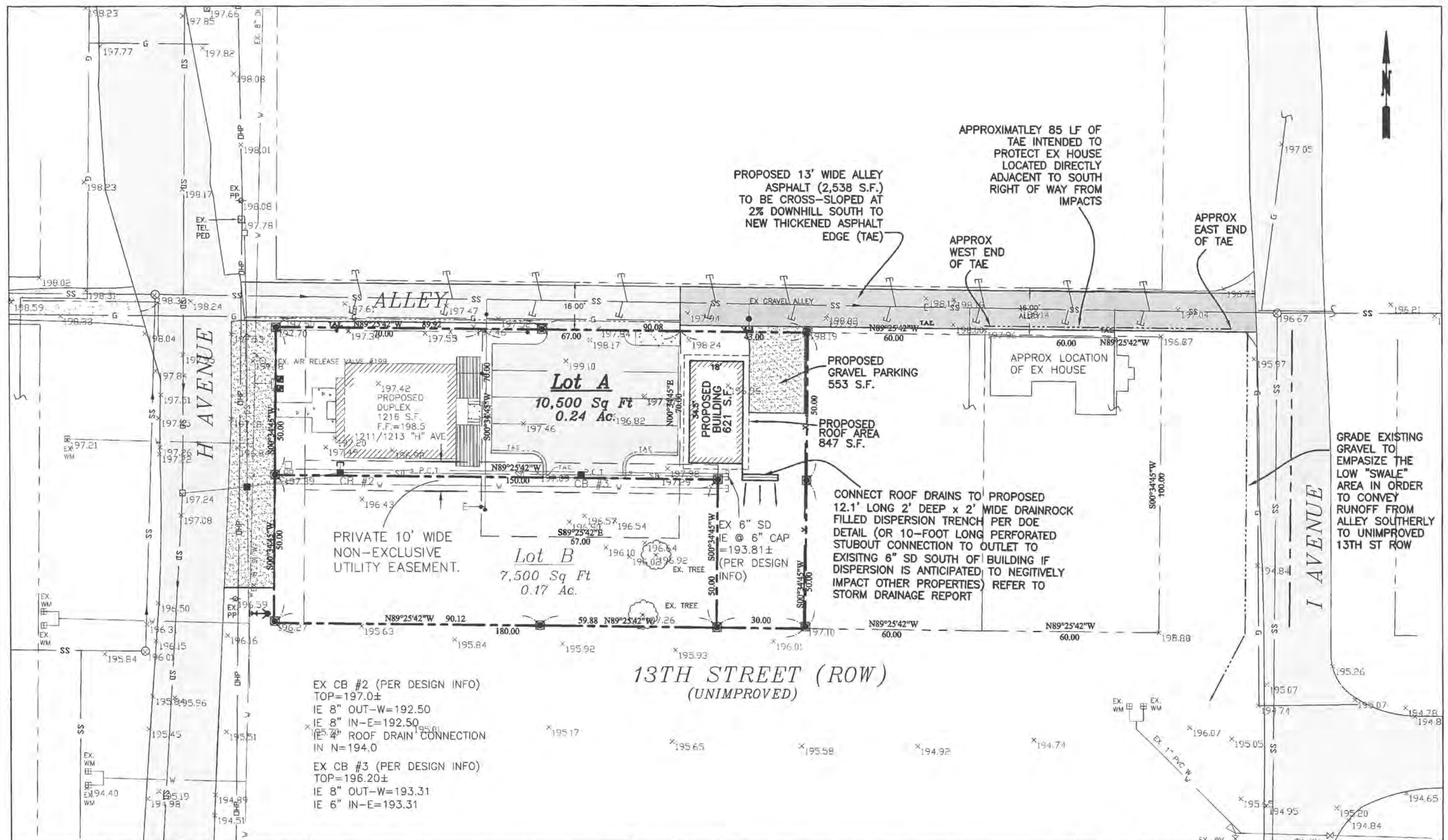
SHEET TITLE:

EXISTING CONDITIONS DRAINAGE EXHIBIT

DRAWING NO.
16019.DRNG.EXH.DWG
JOB NO.
16019
SHEET NO.
1 OF 2

SHEET DESCRIPTION:

**"H" AVENUE DUPLEX ON LOT A
FOR
ALLEN FAMILY INVESTMENTS LLC
SECTION 24 T. 35 N, R. 01 E, W.M.**



Ravnik & Associates, Inc.
 CIVIL ENGINEERING & LAND-USE PLANNING
 1633 LINDAMOOD LANE/P.O. BOX 361
 BURLINGTON, WA 98233
 PH: (360) 707-2048 FAX: (360) 707-2216

SCALE: 1"=30'
 DRAWN BY: DLR
 CHECKED BY: HLN
 DATE: 10.31.17

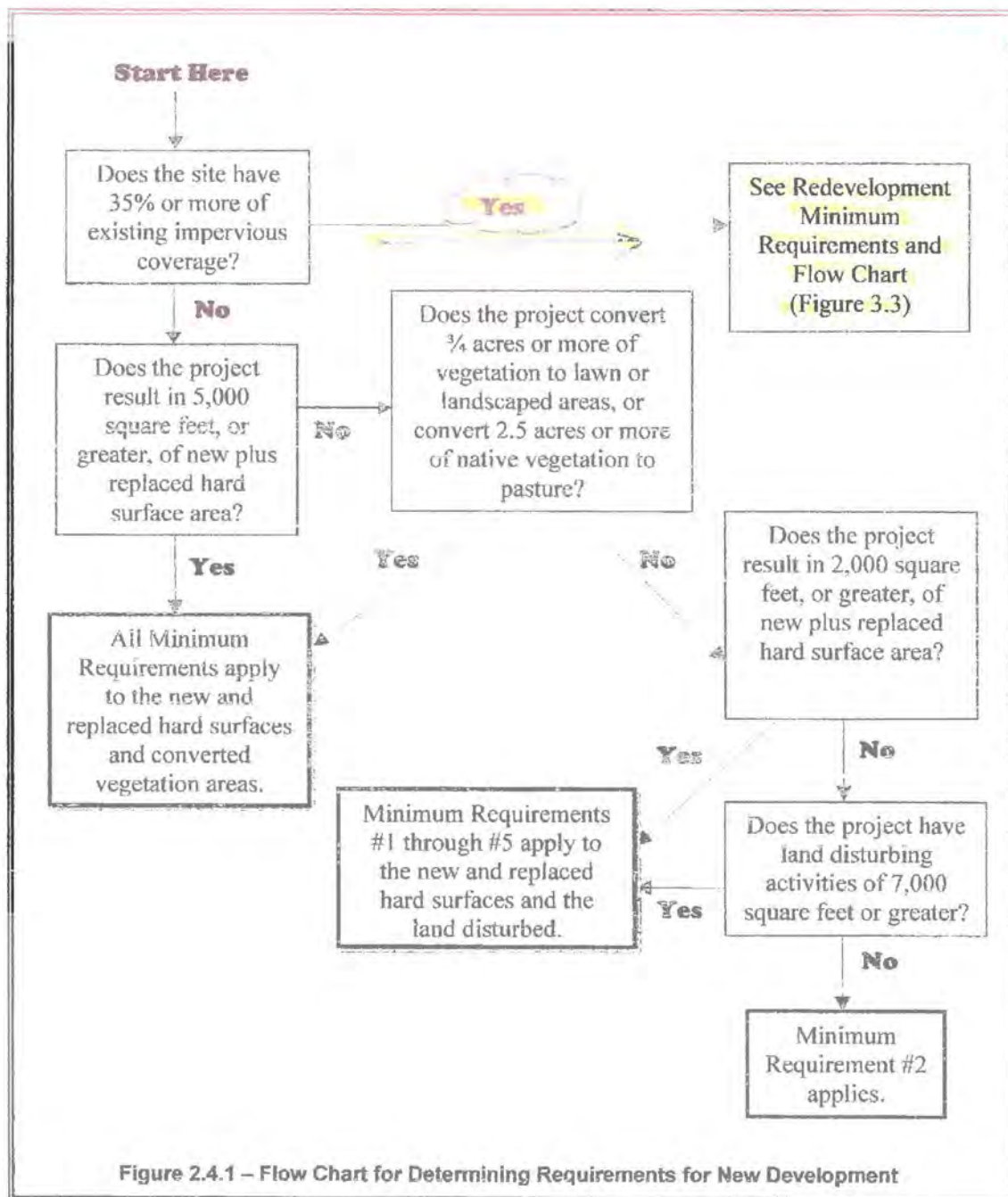
SHEET TITLE:

DEVELOPED CONDITIONS DRAINAGE EXHIBIT

DRAWING NO.
16019.DRNG.EXHLOWG
 JOB NO.
16019
 SHEET NO.
2 OF 2

SHEET DESCRIPTION:

"H" AVENUE DUPLEX ON LOT A
 FOR
 ALLEN FAMILY INVESTMENTS LLC
 SECTION 24 T. 35 N., R. 01 E., W.M.



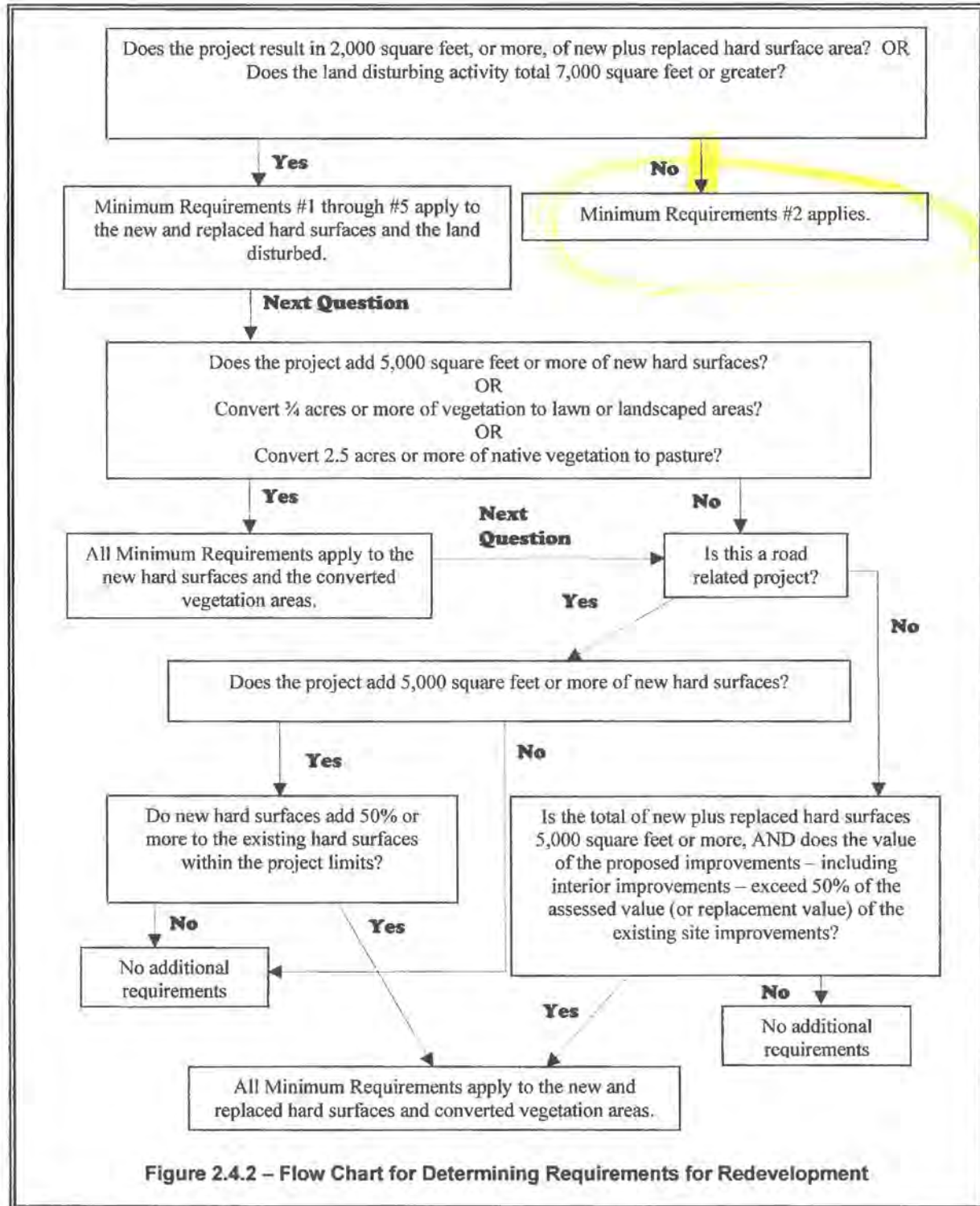


Figure 2.4.2 – Flow Chart for Determining Requirements for Redevelopment

Soil Map—Skagit County Area, Washington

Map Scale: 1:348 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84

MAP LEGEND

Area of Interest (AOI)		Soil		Special Point Features		Water Features	
 Area of Interest (AOI)		 Soil Map Unit Polygons		 Blowout		 Streams and Canals	
		 Soil Map Unit Lines		 Borrow Pit		Transportation	
		 Soil Map Unit Points		 Clay Spot		 Rails	
				 Closed Depression		 Interstate Highways	
				 Gravel Pit		 US Routes	
				 Gravelly Spot		 Major Roads	
				 Landfill		 Local Roads	
				 Lava Flow		Background	
				 Marsh or swamp		 Aerial Photography	
				 Mine or Quarry			
				 Miscellaneous Water			
				 Perennial Water			
				 Rock Outcrop			
				 Saline Spot			
				 Sandy Spot			
				 Severely Eroded Spot			
				 Sinkhole			
				 Slide or Slip			
				 Sodic Spot			

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Skagit County Area, Washington
Survey Area Date: Version 13, Sep 8, 2016

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 9, 2010—Aug 28, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Skagit County Area, Washington (WA657)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
31	Claflam-Urban land complex, 0 to 8 percent slopes	0.6	100.0%
Totals for Area of interest		0.6	100.0%



TABLE 14.--PHYSICAL AND CHEMICAL PROPERTIES OF THE SOILS--Continued

Soil name and map symbol	Depth	Clay	Permeability	Available water capacity	Soil reaction	Shrink-swell potential	Erosion factors		Organic matter
							K	T	
	In	Pct	In/hr	In/in	pH				Pct
14----- Blethen	0-6	---	0.6-2.0	0.15-0.20	5.1-6.5	Low-----	0.15	3	3-9
	6-37	---	0.6-2.0	0.10-0.15	5.1-6.5	Low-----	0.15		
	37-49	8-14	0.6-2.0	0.08-0.12	5.1-6.5	Low-----	0.10		
	49	---	---	---	---	---	---		
15----- Borohemists	0-8	---	0.6-2.0	0.30-0.40	4.5-5.5	Low-----	0.02	5	40-80
	8-30	---	0.6-2.0	0.30-0.40	4.5-5.5	Low-----	0.02		
	30-60	---	---	---	---	---	---		
16, 17----- Bow	0-7	---	0.6-2.0	0.15-0.20	6.1-7.3	Low-----	0.20	5	.5-2
	7-17	---	0.6-2.0	0.10-0.17	6.1-7.3	Low-----	0.15		
	17-31	25-45	0.2-0.6	0.19-0.21	6.1-7.3	Moderate-----	0.24		
	31-60	35-50	0.06-0.2	0.15-0.19	6.1-7.3	Moderate-----	0.24		
18, 19----- Bow	0-8	---	0.6-2.0	0.15-0.20	6.1-7.3	Low-----	0.20	5	.5-2
	8-22	25-45	0.2-0.6	0.19-0.21	6.1-7.3	Moderate-----	0.24		
	22-60	35-50	0.06-0.2	0.15-0.19	6.1-7.3	Moderate-----	0.24		
20*: Bow	0-7	---	0.6-2.0	0.15-0.20	6.1-7.3	Low-----	0.20	5	.5-2
	7-17	---	0.6-2.0	0.10-0.17	6.1-7.3	Low-----	0.15		
	17-31	25-45	0.2-0.6	0.19-0.21	6.1-7.3	Moderate-----	0.24		
	31-60	35-50	0.06-0.2	0.15-0.19	6.1-7.3	Moderate-----	0.24		
Urban land.									
21----- Briscot	0-16	5-12	0.6-2.0	0.13-0.15	6.1-7.3	Low-----	0.32	5	3-9
	16-30	5-12	0.6-2.0	0.13-0.20	6.1-7.3	Low-----	0.37		
	30-60	20-35	0.6-2.0	0.19-0.21	6.1-7.3	Low-----	0.43		
22, 23----- Cathcart	0-10	---	0.6-2.0	0.15-2.0	4.5-6.0	Low-----	0.28	5	2-8
	10-40	---	0.6-2.0	0.10-2.0	5.1-6.5	Low-----	0.28		
	40-60	---	0.6-2.0	0.08-0.11	5.6-6.5	Low-----	0.20		
24----- Cathcart	0-7	---	0.6-2.0	0.15-2.0	4.5-6.0	Low-----	0.28	5	2-8
	7-39	---	0.6-2.0	0.10-2.0	5.1-6.5	Low-----	0.28		
	39-60	---	0.6-2.0	0.08-0.11	5.6-6.5	Low-----	0.20		
25, 26----- Catla	0-6	5-10	0.6-2.0	0.08-0.10	5.1-6.0	Low-----	0.20	1	2-5
	6-11	5-15	0.6-2.0	0.08-0.10	5.1-6.0	Low-----	0.20		
	11-17	5-15	0.6-2.0	0.06-0.08	5.1-6.0	Low-----	0.10		
	17	---	<0.06	---	---	---	---		
27, 28----- Chuckanut	0-9	---	2.0-6.0	0.15-0.20	5.1-6.0	Low-----	0.20	3	2-8
	9-35	---	0.6-2.0	0.10-0.15	5.1-6.0	Low-----	0.20		
	35-49	---	0.6-2.0	0.10-0.15	5.1-6.0	Low-----	0.20		
	49	---	---	---	---	---	---		
29, 30----- Clallam	0-11	7-12	0.6-2.0	0.10-0.14	5.1-6.5	Low-----	0.20	2	3-5
	11-27	3-12	0.6-2.0	0.06-0.10	5.1-6.5	Low-----	0.15		
	27	---	<0.06	---	---	---	---		
31*: Clallam	0-11	7-12	0.6-2.0	0.10-0.14	5.1-6.5	Low-----	0.20	2	3-5
	11-27	3-12	0.6-2.0	0.06-0.10	5.1-6.5	Low-----	0.15		
	27	---	<0.06	---	---	---	---		
Urban land.									
32----- Clendenen	0-7	---	0.6-2.0	0.15-0.25	4.5-5.0	Low-----	0.20	1	10-15
	7-16	---	0.6-2.0	0.12-0.20	4.5-5.5	Low-----	0.10		
	16	---	<0.06	---	---	---	---		

See footnote at end of table.

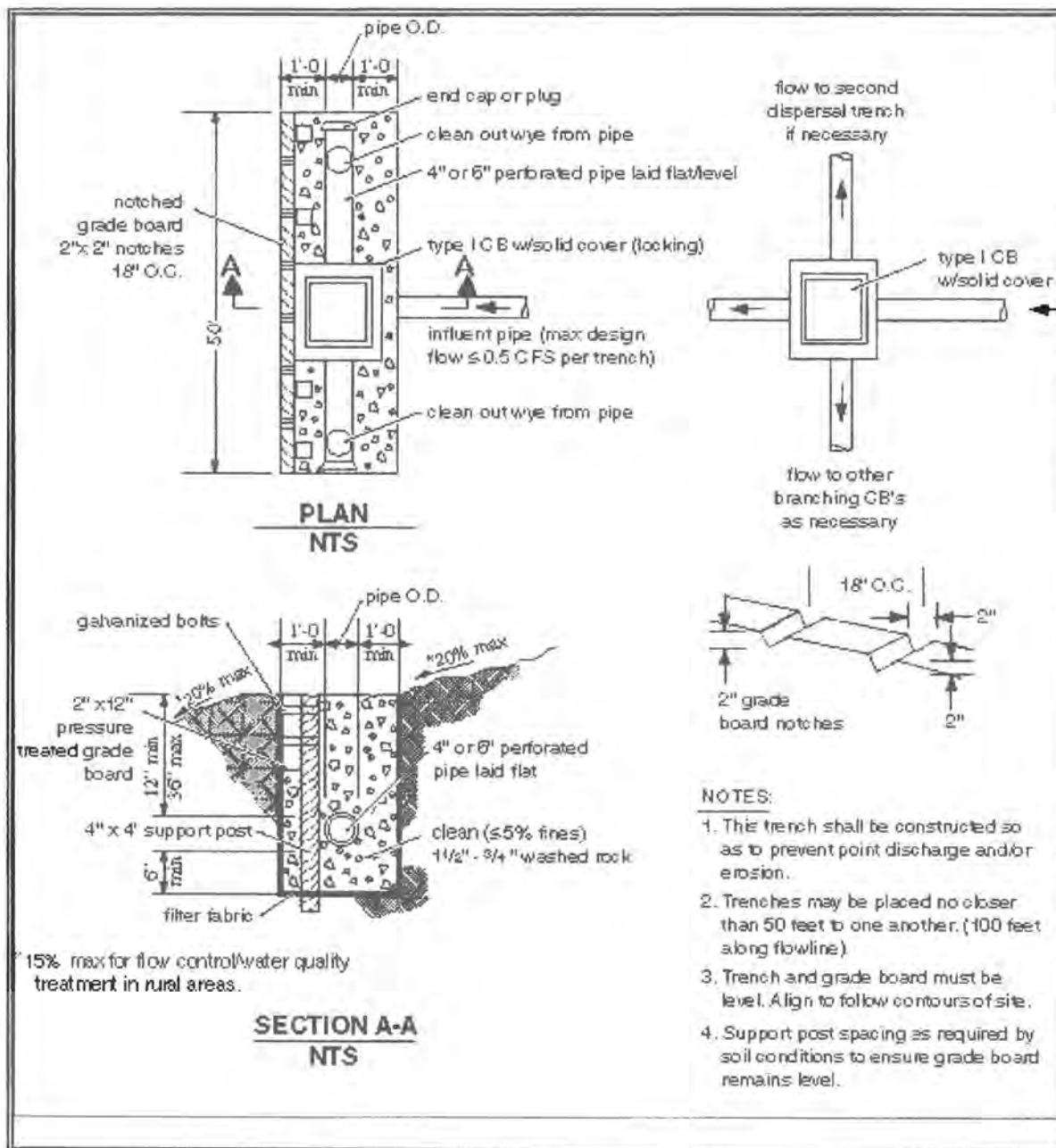
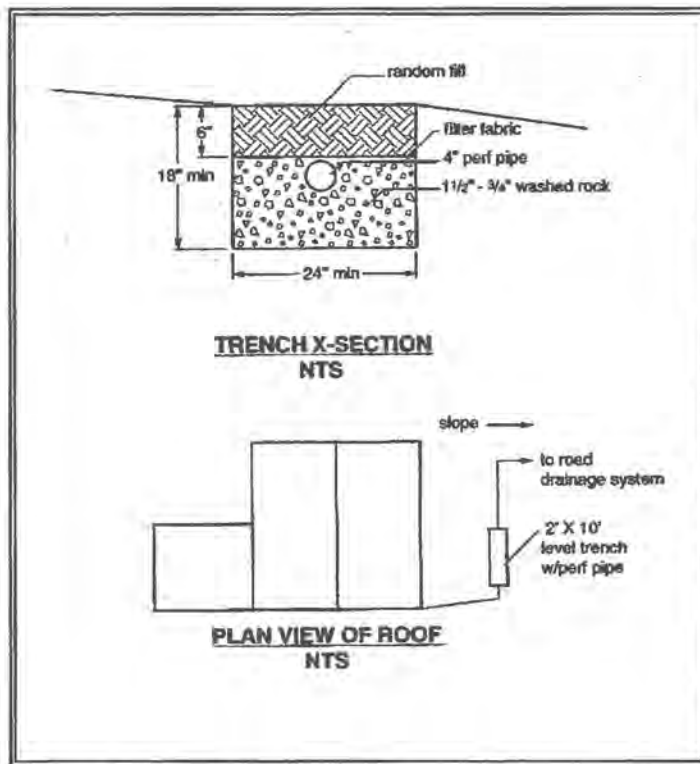


Figure 3.1.6 - Standard Dispersion Trench with Notched Grade Board



Source: King County

Figure 3.1.8 - Perforated Stub-Out Connection

EXHIBIT #02:

GIS MAP & ASSESSORS'S INFO

Details for Parcel: P58013



Jurisdiction: ANACORTES
Please contact the city of **ANACORTES** for ANACORTES zoning information.

[Recorded Documents](#)

[Excise Affidavits](#)

Zoning Designation:

*Documents scanned and recorded by the Auditor's office
Document scans of excise affidavits*

Parcel Number	XrefID	Quarter	Section	Township	Range
P58013	3806-004-016-0004	NE	24	35	01
Owner Information	Site Address(es)	Map Links			
ALLEN FAMILY INVESTMENTS LLC	1211 H AVENUE	Open in iMap			
PO BOX 817	Anacortes, WA (<i>Jurisdiction, State</i>)	Assessor's Parcel Map:			
ANACORTES, WA 98221	Zip Code Lookup Site Address Information	PDF DWF			

Current Legal Description [Abbreviation Definitions](#)

(0.2410 ac) LOT A, CITY OF ANACORTES BLA-2016-1012, RECORDED UNDER AF#201612200069, RECORDS OF SKAGIT COUNTY, WASHINGTON, BEING A PORTION OF LOTS 11 THRU 16, INCLUSIVE, BLOCK 4, MUNKS FIRST QUEEN ANNE ADDITION TO ANACORTES, RECORDED IN VOLUME 3 OF PLATS, PAGE 1, RECORDS OF SAID COUNTY.

2017 Values for 2018 Taxes*

Building Market Value \$216,800.00
Land Market Value +\$131,300.00
Total Market Value \$348,100.00
Assessed Value \$348,100.00
Taxable Value \$348,100.00

Sale Information

Deed Type WARRANTY DEED
Sale Date 2016-04-25
Sale Price \$190,000.00

2018 Property Tax Summary

2018 Taxes will be available after 2/15/2018
Use the Taxes link above for 2017 taxes

* Effective date of value is January 1 of the assessment year (2017)

Legal Description at time of Assessment

*Land Use	(120) HOUSEHOLD, 2-4 UNITS	WAC 458-53-030	
Neighborhood	(30AMF) ANACORTES 2-4 FAMILY RESIDENTIAL AS BUILT		
Levy Code	0900	Fire District	
School District	SD103	Exemptions	
Utilities		Acres	0.24
Improvement 1 Attributes Summary			
Building Style	DUPLEX		
Year Built		Foundation	
Above Grade Living Area	2,432 Square Feet	Exterior Walls	
Finished Basement		Roof Covering	
*Total Living Area	2,432 Square Feet	Heat/Air Conditioning	
Unfinished Basement		Fireplace	
*Total Garage Area		Bedrooms	
Bathrooms			

For additional information on individual segments see Improvements tab

* Land Use codes are for assessment administration purposes and do not represent jurisdictional zoning. Please contact the appropriate planning department in your jurisdiction for land use questions.

* Total living area includes above grade living area and finished basement area.

* Garage square footage includes all garage areas; basement garages, attached garages, detached garages, etc.

Assessment data for improvements is based on exterior inspections. Please contact the Assessor's office if the information does not accurately reflect the interior characteristics.

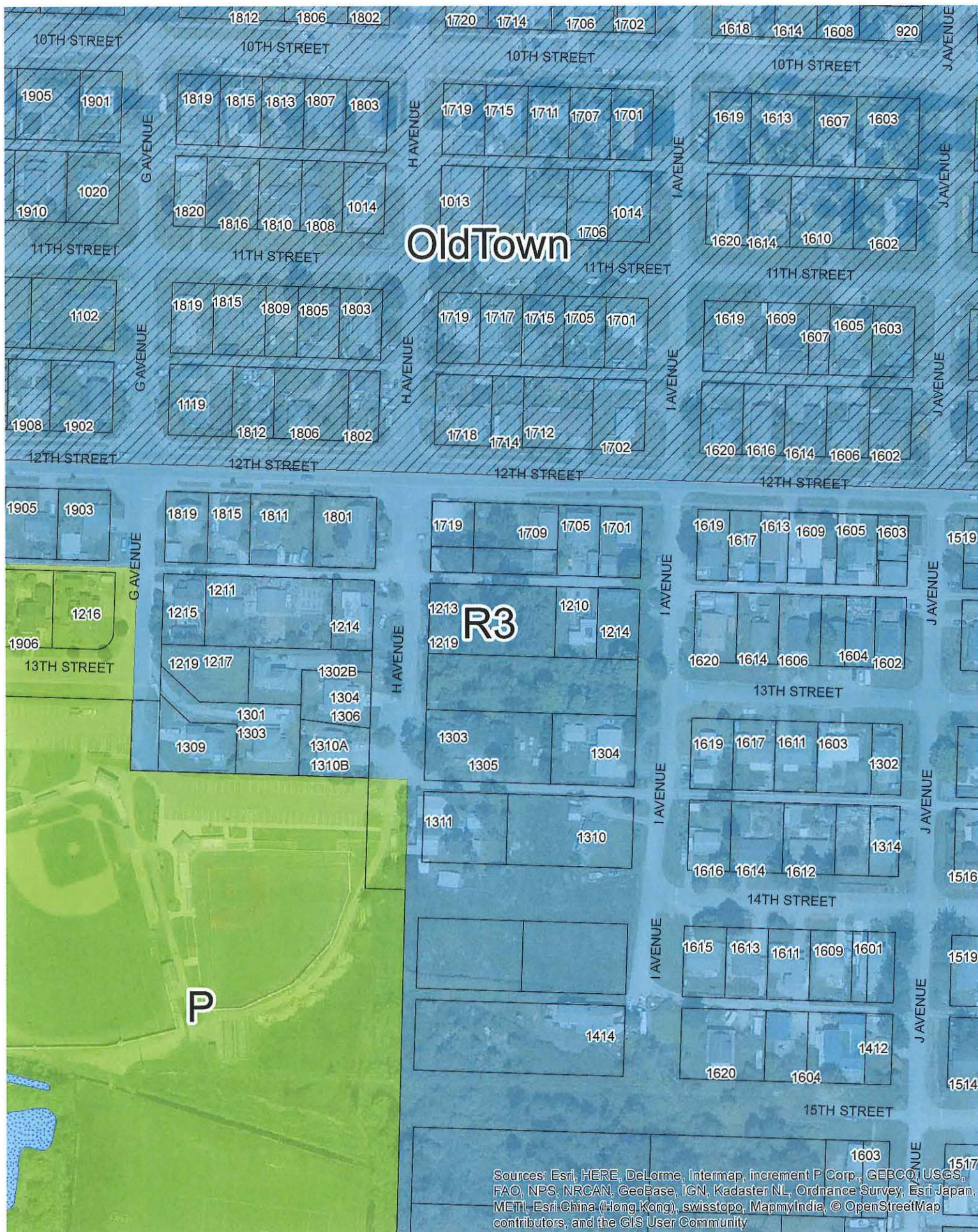


EXHIBIT #03:

NEIGHBORHOOD MEETING NOTICE & NOTICE OF APPLICATION & HEARING



NEIGHBORHOOD MEETING:

A neighborhood meeting will be held at **6:00 PM on Thursday, October 26, 2017, in the City of Anacortes Senior Activity Center located at 1701 22nd Street, Anacortes, Washington**, concerning the applicant's proposed development.

The applicant is proposing constructing one (1) additional detached dwelling unit on the east side of the subject property. A duplex was recently constructed on the west side of the property. Triplexes require an approved Conditional Use Permit in the underlying R3 Zoning District. The proposed development is generally located south of 12th Street on the east side of "H" Avenue.

Applicant: Tom Allen; Allen Family Investments, LLC; P.O. Box 817, Anacortes, WA 98221; Phone #: (360) 293-7754

Project Location: 1211 & 1213 "H" Avenue, Anacortes, WA

Parcel(s) Numbers Involved: Parcel #: P58013

Required Project Permits/Approvals: The following permits /approvals may be required as part of the proposed development: Conditional Use Permit, Stormwater Drainage Analysis, & Building Permit. This however just concerns a neighborhood meeting at this time.

For Project Information: Kevin Cricchio, AICP, WPIT, Associate Planner; Phone: (360) 293-1937; Email: kevinc@cityofanacortes.org; City of Anacortes, P.O. Box 547, Anacortes, WA 98221

Date Issued: October 11, 2017

Publish: October 11, 2017



NOTICE OF APPLICATION & HEARING:

Notice Is Hereby Given That An Application Was Made For The Following Proposal:

Request: The applicant has applied for a Conditional Use Permit to permit the construction of one (1) additional detached dwelling unit on the east side of the subject property. A duplex was recently constructed on the west side of the property. Triplexes require an approved Conditional Use Permit in the underlying R3 Zoning District. The proposed development is generally located south of 12th Street on the east side of "H" Avenue. The subject parcel number is P58013.

Project Location: 1211 & 1213 "H" Avenue, Anacortes, WA

Applicant: Tom Allen; Allen Family Investments, LLC; P.O. Box 817, Anacortes, WA 98221

File Number: CUP-2017-0003

Date of Application: September 25, 2017

Date of Completeness: November 1, 2017

Public Comment Period: Any person may comment on this application by writing to the address below and/or by testifying at the public hearing. Staff will issue a recommendation on the project after the comment period ends at **5:00 PM on November 22, 2017**. Written comments on the proposal should be submitted before the end of the comment period but will be accepted until the close of the Open-Record Public Hearing.

Required Project Permits/Approvals: The following may be required in addition to the above: Building Permit Application Approval & Stormwater Drainage Analysis

Preliminary Determination of Consistency: At this time, no determination of consistency with City of Anacortes plans, regulations, or standards has been made. At a minimum, this project will be subject to the following plans and regulations: the Comprehensive Plan; Anacortes Municipal Code (Zoning, etc.), Engineering Design and Building Standards.

SEPA Review: SEPA review is not required.

Pre-Decision Open-Record Public Hearing: A pre-decision open-record public hearing will be held by the **Planning Commission at 6:00 PM on Wednesday, December 13, 2017** to make a recommendation on the application to City Council. **Closed-Record Decision Hearing:** A closed-record decision hearing to make a decision on the application will be held by the **City Council at 6:00 PM on Monday, January 8, 2018**. Both hearings will be in City Council chambers located at 904 6th Street, Anacortes, WA.

How to become a party of record: You may become a party of record by submitting written comments, including a (USPS) mailing address, to the City of Anacortes PCED at the address listed below. E-mailed comments must include a return (USPS) mailing address in order for the sender to be considered a party of record. Questions about this proposal, requests to receive future notices of hearings and/or the decision, once made, and/or appeal procedures should be directed to the contact person listed below. The application and complete case file are available for review at the City of Anacortes PCED located at 904 6th Street, Anacortes, WA 98221. A decision on this application will be made within 120 days from the date of completeness.

For Project Information: Kevin Cricchio, AICP, WPIT, Associate Planner; Phone: (360) 293-1937; Email: kevinc@cityofanacortes.org; City of Anacortes, P.O. Box 547, Anacortes, WA 98221

Date Issued: November 1, 2017

Publish: November 1, 2017

EXHIBIT #04:

PUBLIC COMMENTS RECEIVED

From: [Measamer, Don](#)
To: ["Vernon Lauridsen"; Cricchio, Kevin](#)
Cc: [Gere, Laurie](#); [Grage, Libby](#)
Subject: RE: H Avenue Triplex
Date: Monday, October 30, 2017 8:13:31 AM

Thank you for your email, the current draft regulations does not include the use of detached multifamily units. Thank you again.

Don Measamer, Director | Planning, Community & Economic Development Department
P.O. Box 547 | 904 6th Street | Anacortes, WA 98221
360.299.1942 (work) don@cityofanacortes.org

From: Vernon Lauridsen [mailto:vclauridsen47@yahoo.com]
Sent: Friday, October 27, 2017 3:28 PM
To: Cricchio, Kevin <kevinc@cityofanacortes.org>
Cc: Measamer, Don <don@cityofanacortes.org>; Gere, Laurie <laurieg@cityofanacortes.org>
Subject: H Avenue Triplex

As you know, I attended the neighborhood meeting last night for the “triplex” CUP on H Ave. I attended to draw attention to what I believe to be a terrible statutory provision that is being used to support the project. AMC 17.34.050 provides

“Units in a multifamily development of two or more units may be attached or detached, provided that the underlying property shall not be subdivided and sold separately unless the subdivided lots meet the setback, lot coverage, parking, and other requirements for the buildings thereon” (emphasis added).

This language was added to 17.34.050 by Ordinance 2794 in 2008. Other than the development on H and 28th, 10th Street and an H Ave. and 13th, I know of no other case where this section has been applied.

The quoted language is ambiguous. Does “Units in a multifamily development” refer to proposed new development or development when applied to preexisting development? As I recall, the 10th Street development was on a piece of vacant land. It seems clear that the quoted language applies in that case. But had there already been a single family dwelling on the property, could the owners have built the second home and called it a detached duplex? There is nothing in the Section 17.34.050 which seems to preclude that interpretation. Indeed that may have been the intent. Perhaps a review of the legislative history would resolve question.

Evidently, the department is interpreting the language to support such serial development. The H Ave. applicant only seeking to build one dwelling unit but rather than call it an application for construction of a single family residence (requiring a separate lot of 6000 sq. ft.), it is deemed to be an application for a “detached” triplex given there is a preexisting duplex.

Note that by implication, so long as the owner/developer has no intention of subdividing and selling the units, there are no “requirements for buildings” which would include set-backs, land coverage, parking, access/street improvements, height, impact fees, and every other development regulation

other than the minimum lot size.

The quoted language would allow a R3 home owners with a 7500 square foot lot to build an oversize, over height home, right on their property line and call it a duplex, then tear down the old home thus avoiding virtually all the development regulations.

The quoted language makes nonsense of the regulations governing accessory dwelling units. Given Section 17.34.050, why would anybody in the R3 zone bother with an ADU and all its regulations when they could build a “detached” duplex without any restrictions other than lot size?

The quoted language also would allow serial development to be taken to an extreme. For example, an R3 land owner with a 12,500 square foot lot could build a (or have an existing) single family home that meets all applicable land use regulations, then proceed to apply for and build a second home with a one foot set-back and call it a duplex, repeat the process and call it a triplex and repeat the process again and call it a fourplex. The effect is row housing rentals in R3 zone which might be an appropriate housing option but one never contemplated by the Comprehensive Plan.

I hope that during the course of rewriting Title 17, Section 17.34.050, would be addressed to preclude “detached” multifamily dwelling units and the potential for harmful unregulated serial development. The H Ave. project is an example of serial development that avoids disclosure and review of the entire project from the beginning. However, the proposal does appear to provide for appropriate parking, set-backs, and lot coverage. As such, I do not feel that the H Ave. “triplex” proposal is a good example of the misuse that could occur given the current text of AMC 17.34.050. You may wish to advise the applicant that I do not intend to oppose the project as outlined last night. Thank you. Vernon Lauridsen.

Sent from [Mail](#) for Windows 10

EXHIBIT #05:

AGENCY & DEPARTMENT COMMENTS RECEIVED



Development Review Group (DRG)

Name of Applicant: Allen Family Investments, LLC

Brief Description: Triplex Conditional Use Permit, CUP-2017-0003

Please initial if approved and/or include your comments:

Street Department: B.H.

Comments:

OK

Water Department: TN

Comments:

ok

Solid Waste: mk

Comments:

ok

Sandi Andersen: SA

Comments:



Anacortes Planning, Community & Economic Development Dept.

Permit Center

P.O. Box 547, Anacortes, WA 98221-0547

Don Measamer, *Director of Planning, Community and Economic Development*

PH (360) 299-1984

FAX (360) 293-1938

DEPARTMENT / AGENCY COMMENT FORM:

October 27, 2017

RE: Triplex Conditional Use Permit, CUP-2017-0003

From: Kevin Cricchio, Associate Planner; City of Anacortes; 904 6th Street, P.O. Box 547, Anacortes, WA 98221; Phone: (360) 293-1937; Email: kevinc@cityofanacortes.org

Description of Subject Proposal:

CUP-2017-0003: The applicant has applied for a Conditional Use Permit to permit the construction of one (1) additional detached dwelling unit on the east side of the subject property. A duplex was recently constructed on the west side of the property. Triplexes require an approved Conditional Use Permit in the underlying R3 Zoning District. The proposed development is generally located south of 12th Street on the east side of "H" Avenue. The subject parcel number is P58013. Project location is 1211 & 1213 "H" Avenue, Anacortes, WA. Please provide any comments /requirements to me no later than **5:00 PM on November 22, 2017**. Please see the attached notice of application & hearing.

Applicant & Landowner:

Allen Family Investments, LLC
P.O. Box 817
Anacortes, WA 98221

Conditions &/or Requirements:

NO PUBLIC WORKS ISSUES.

Signature:

STEVEN LANGE

Date:

10.30.17

Dept. / Agency Name:

CAD PL'S DEPARTMENT



Anacortes Planning, Community & Economic Development Dept.

Permit Center

P.O. Box 547, Anacortes, WA 98221-0547

Don Measamer, *Director of Planning, Community and Economic Development*

PH (360) 299-1984

FAX (360) 293-1938

DEPARTMENT / AGENCY COMMENT FORM:

October 27, 2017

RE: Triplex Conditional Use Permit, CUP-2017-0003

From: Kevin Cricchio, Associate Planner; City of Anacortes; 904 6th Street, P.O. Box 547, Anacortes, WA 98221; Phone: (360) 293-1937; Email: kevinc@cityofanacortes.org

**Description
of Subject
Proposal:**

CUP-2017-0003: The applicant has applied for a Conditional Use Permit to permit the construction of one (1) additional detached dwelling unit on the east side of the subject property. A duplex was recently constructed on the west side of the property. Triplexes require an approved Conditional Use Permit in the underlying R3 Zoning District. The proposed development is generally located south of 12th Street on the east side of "H" Avenue. The subject parcel number is P58013. Project location is 1211 & 1213 "H" Avenue, Anacortes, WA. Please provide any comments /requirements to me no later than **5:00 PM on November 22, 2017**. Please see the attached notice of application & hearing.

**Applicant &
Landowner:**

Allen Family Investments, LLC
P.O. Box 817
Anacortes, WA 98221

Conditions &/or Requirements:

Signature:

T. P. 3

Date:

10-30-17

Dept. / Agency Name:

Permit Dept.

EXHIBIT #06:

SITE PHOTOS

EXHIBIT #06
SITE PHOTOS:



Existing
duplex on
subject
property
addressed as
1211 1213
“H” Avenue



On the
right side,
an
adjacent
duplex
addressed
as 1217 &
1219 “H”
Avenue

Looking
south at
“H”
Avenue



Looking
east at un-
opened 13th
Street on
south side
of 1217 &
1219
duplex



Looking
north at
"H"
Avenue.
1211 &
1213 "H"
Avenue
duplex on
right side.



Looking
east at
alleyway
that abuts
1211 &
1213
duplex &
subject
property
on right
side.



Looking
west at
alleyway
that abuts
property.
Two
duplexes &
parking lot
located on
left side.





1211 & 1213 duplex on right side & 1217 & 1219 duplex on left side. 4 parking spaces shown.



Four additional parking spaces on east side of parking lot

Eastern
side of
subject
property
where one
additional
dwelling
unit is
proposed



Garbage & recycling receptacles for
two existing duplexes